

Vaney-Shinde Residence

OWNERS:

Pashmi Vaney & Rahul Shinde
4207 W. Mercer Way, Mercer Island, WA 98040

PROJECT ADDRESS:

4207 W. Mercer Way
Mercer Island, WA 98040

TAX PARCEL NUMBER:

936570-0163

LEGAL DESCRIPTION:

THE WEST 82 FEET OF THAT PORTION OF TRACT 13 IN HARRY WHITE'S PLAT OF EAST SEATTLE ACRE TRACTS, AS PER PLAT RECORDED IN VOLUME 3 OF PLATS, PAGE 36, RECORDS OF KING COUNTY, LYING SOUTHERLY OF WEST MERCER WAY RIGHT-OF-WAY;
TOGETHER WITH THAT PORTION OF THE EAST ½ OF VACATED SECOND STREET ADJOINING ON THE WEST;
SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON

PROJECT DESCRIPTION:

Demolish portion of existing residence and existing impervious surfaces. Build addition to and remodel single family residence and related site work.

GOVERNING AUTHORITY:

City of Mercer Island, Development Services Group.

ZONING CODE INFORMATION:

Zone: R 15
Lot Coverage Calculations: A1.1
ABE Calculations: A1.1Lot Slope Calculation: A1.1
Allowed GFA: 40% x 26,673sf = 10,669sf
Proposed GFA: 4839sf (18% of lot area) see Shts. A2.0, A2.1, A2.2 for GFA detail.

BUILDING CODE INFORMATION:

Building Code: IRC 2015
Occupancy: Group R-3 - Single Family Residence & Group U Garage
Construction Type: V - Wood Frame (VB)
Sprinkled: Per IRC2015 AV107.1 and City of Mercer Island Fire Marshall - NFPA 13D

ENERGY CODE INFORMATION: 2015 WSEC & IRC VENTILATION

Energy Conservation: Component Performance see attached calculations & sheets: A2.0, A2.1, A2.2, A3.1, A3.2, A4.1, A5.1, A9.1, E2.0, E2.1, E2.2
Energy Credits - 3.5: 1a- Efficient Building Envelope (.5 credit); 3d High Efficient HVAC Equipment (1 credit); 5a Efficient Water Heating (.5 credit); 5c Efficient Water Heating (1.5 credits).
Whole House Ventilation: Prescriptive Intermittent Whole House Ventilation Using Exhaust fans & Fresh Air Inlets per IRC M1507.3.4 with a Whole-House Ventilation Rate of 90 cfm (see sheets E2.0, E2.1 & E2.2).

PROJECT DIRECTORY:

Architect:	Studio Ectypos Contact: Lucia Pirzio-Biroli, Architect 4212 W. Mercer Way Mercer Island, WA 98040 Phone: (206) 232-9147 Fax: (206) 275-0312
Surveyor:	Terrane (formerly Geo-Dimensions) Contact: Ken Green 10801 Main Street, Ste. 102 Bellevue, WA 98004 Phone: (425) 458-4488
Geotechnical Engineer:	Geotech Consultants, Inc. Contact: Marc McGinnes 2401 10th Ave. E. Seattle, WA 98199 Phone: (425) 747-5618
Structural Engineer:	Bykononen Carter Quinn Contact: Tom Bykononen 820 John St. Seattle, WA 98109 Phone: (206) 264-7784 (x 202) Fax: (206) 264-7769
General Contractor:	Peter Davis Builders Contact: Peter Davis 7420 SE 24th St. Ste. #1 Mercer Island, WA 98040 Phone: (206) 232-1883

DRAWING SCHEDULE:

A0.1 Cover Sheet / Project Information
A0.2 As-Built/Demo Plans
A0.3 As-Built/Demo Plans
A0.4 As-Built/Demo Elevations and Building Sections

---- Site Survey

A1.0 Site Plan and Critical Area Plan
A1.1 Site Calculations
A2.0 Lower Plan
A2.1 Main Floor Plan
A2.2 Upper Floor Plan
A2.3 Roof Plan
A3.1 Elevations
A3.2 Elevations
A4.1 Building Sections
A4.2 Building Sections
A5.1 Wall Section
A9.1 New Window & Exterior Door Schedules

E2.0 Lower Floor Electrical Plan
E2.1 Main Floor Electrical Plan
E2.2 Upper Floor Electrical Plan

S0.1 Structural General Notes
S0.2 Structural General Notes
S2.0 Foundation Plan
S2.1 Main Floor Framing
S2.2 Upper Floor Framing
S2.3 Roof Framing
S5.1 Structural Details
S5.2 Structural Details
S5.3 Structural Details

Geotechnical Report
Structural Calculations

ABBREVIATIONS:

AB	anchor bolt
ADJ	adjustable
AFF	above finish floor
ARCH	architect/ural
BLDG	building
BM	beam
B.O.	bottom of
B.O.F.	bottom of footing
BTWN	between
CB	catch basin
CIP	cast in place
CJ	control joint
CLG	ceiling
CMU	concrete masonry unit
COL	column
CONC	concrete
CONT	continuous
DIA	diameter
DIM	dimension
DN	down
DR(S)	door(s)
DS	downspout
DWG	drawing
EA	each
EL	elevation
ELEC	electrical
ELEV	elevations
EQ	equal
EXIST	existing
EXH	exhaust
EXT	exterior
FB	flat bar
FD	floor drain
FDN	foundation
FE	fire extinguisher
FIN	finish
FOC	face of conc.
FOS	face of stud
FLR	floor
FOIC	furnished by owner installed by contractor
FPHB	frost proof hose bib
FRT	fire retardant treated
FS	full size
FT	foot
FTNG	footing
GA	gauge
GALV	galvanized
GL	glass
GWB	gypsum wallboard
HB	hose bib
HC	hollow core
HM	hollow metal
HOR	horizontal
HP	high point
HR	hour/handrail
HT	height
ID	inside diameter
IN	inch/inches
INSUL	insulation
INT	interior
JNT	joint
KD	kiln dried
LNDSPPG	landscaping
LP	low point
LT	light
MAX	maximum
MDF	medium density fiberboard
MDO	medium density overlay
MECH	mechanical
MFG	manufacturer
MISC	miscellaneous
MIN	minimum
MTL	metal
NIC	not in contract
NO	number
NOM	nominal
NTS	not to scale
OA	overall
OC	on center
OD	outside diameter
OFD	overflow drain
OPNG	opening
OS	overflow scupper
OVR	over
PAV	pavers, paving
PLYWD	plywood
PR	pair
PT	paint/point
RAD	radius
RB	reinforcing bar
RD	roof drain
REQ'D	required
RES	resilient
RL	rain leader
RO	rough opening
SCHED	schedule(s)
SD	smoke detector
SF	square feet
SHT	sheet
SIM	similar
SPEC	specification
SQ	square
SS	stainless steel
ST	stone
STL	steel
SAF	self adhering flashing
TG	tempered glass
T&G	tongue and groove
THK	thick
T.O.	top of
TYP	typical
V	variable
VERT	vertical
VG	vertical grain
VIN	vinyl
VTR	vent through roof
W/	with
WP	waterproof
W/O	without
WWF	welded wire fabric

SYMBOLS:

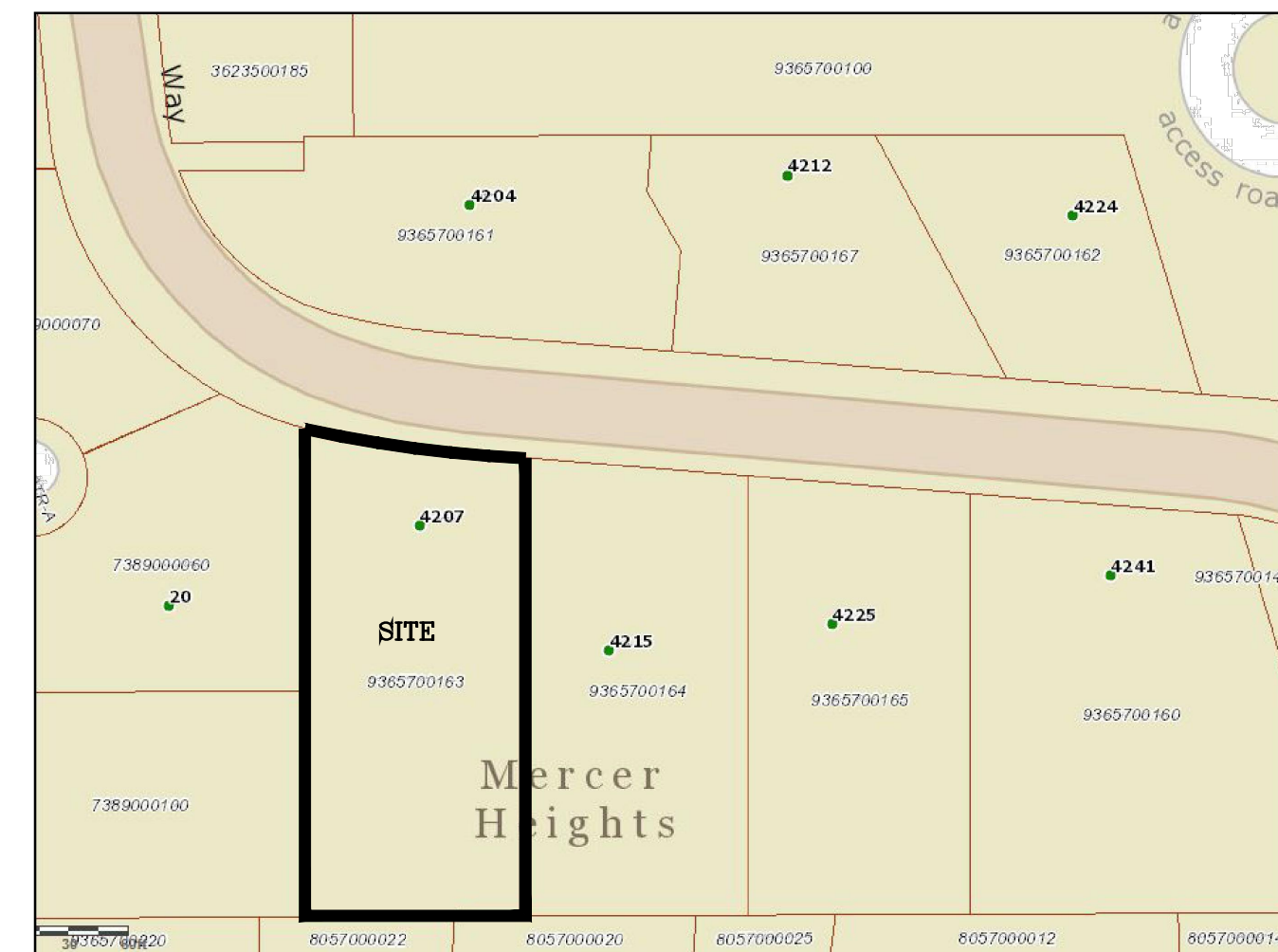
&	and
@	at
⊖	centerline
x	by
∅	diameter
#	pound/number
##	degree
±	plus or minus
⚠	revisions / window designation
⚠	door designation
⚠	material designation

GENERAL NOTES:

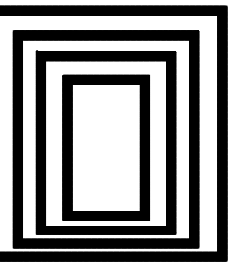
(See specifications for supplemental information to the General Notes)

- Contractor shall verify all dimensions and conditions shown on drawings at the job site and shall notify the Architect of any omissions, discrepancies and/or conflicts before proceeding with the work.
- General Contractor to coordinate pre-construction site meeting w/ Owner, Architect, Structural Engineer and City of Mercer Island Building Inspector.
- Plumbing, mechanical and electrical work shall be under separate permits according to prevailing codes. Contractor shall obtain such permits.
- Special inspection that are required by the City of Mercer Island Development Services shall be coordinated by Contractor.
- Contractor shall verify existing grade conditions and height limits with Architect and surveyor on site prior to beginning work and shall notify Architect of any discrepancy in the site survey.
- Do not scale drawings, dimensions govern. Large scale dimensions govern over small scale dimensions. Notify Architect of discrepancies in dimensions prior to proceeding with work.
- Construction dimensions shown are to face of sheathing (FOS) on exterior walls, and top of (T.O.) slab at doors or sub-floor at floor levels.
- SPRINKLERS** An approved automatic fire sprinkler system shall be installed per IRC 2015 AV107.1
- DWELLING/GARAGE SEPARATION** shall meet the requirements of IRC R302.6. All habitable rooms shall be separated on the garage side by not less than ½" Type "X" gwb or equivalent.
DWELLING/GARAGE OPENING/PENETRATION PROTECTION shall meet the requirements of IRC R302.6.1-R302.5.3. Doors shall be minimum 20 minute fire rated doors equipped with a self-closing device.
- SMOKE DETECTION** shall meet the requirements of IRC R314. All smoke alarms shall be listed and labeled in accordance with UL217 and shall meet the provisions of NFPA 72. Smoke alarms shall be located as follows: each sleeping room; outside each separate sleeping area in the immediate vicinity of the bedrooms; on each floor of the dwelling.
- CARBON MONOXIDE ALARMS** shall meet the requirements of IRC R315. Carbon monoxide alarms shall be installed outside each separate sleeping area in the immediate vicinity of the bedrooms.
- EMERGENCY EGRESS WINDOWS** shall meet the requirements of IRC R310. Each sleeping room shall have an operable rescue opening. The sill height shall not be more than 44" from the finished floor to the bottom of the opening. Minimum net clear opening shall be 5.7 square feet; minimum clear width 20"; minimum clear height 24".
- STAIRWAYS** shall meet the requirements of IRC R311.7. Stairways shall have a minimum clear width of 36" above handrail, and be not less than 31½" in width below handrail. Minimum headroom shall not be less than 6'-8". Maximum riser 7¾" / minimum tread 10". Handrails shall be not less than 34" or more than 38" above the slope of the plane of the stairs and shall be continuous for the full run of the flight and shall have a minimum space of 1½" between wall and railing.
- FIREPLACES AND FLUES**
Factory built fireplaces shall meet the requirements of IRC R1004. Shall be listed and labeled and shall be installed in the accordance of the listing.
Factory built chimneys shall meet the requirements of IRC R1005. Shall be listed and labeled and shall be installed in the accordance of the listing.
- Provide fireblocking according to IRC R302.11 where applicable.
- See specifications for required shop drawings. Contractor shall prepare and submit shop drawings to governing authority.
- Provide mounting blocks at exterior walls behind all light fixtures, hosebibs, structural steel connectors, guardrails and any other exterior mounted accessories. Verify type of mounting block with Architect prior to installation.
- Provide dampproofing on all below grade foundation walls per IRC R406. Provide all accessories required for a completely watertight installation, including but not necessarily limited to: flashing, counterflashing, sealant, and caulking at all roof and wall penetrations; interlocking weatherstripping at all doors and windows; waterstops and other concrete inserts at below grade cold joints.
- Provide notching, drilled holes according to Structural Engineers's recommendations or run roof furring strips perpendicular to roof joists to allow crossventilation of roof joist spaces. Maintain 1" minimum clear from top of insulation to bottom of decking where occurs.
- Pressure treated lumber typically at all exterior applications and concrete surfaces.

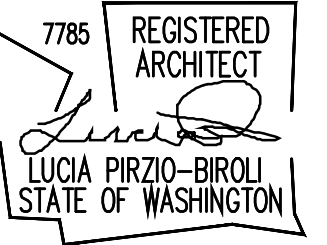
VICINITY MAP



Studio
Ectypos
ARCHITECTURE



4212 W. Mercer Way
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VANNEY / SHINDE

Remodel/Addition

4207 West Mercer Way

Mercer Island, WA 98040

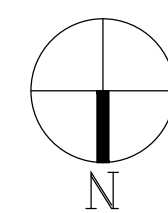
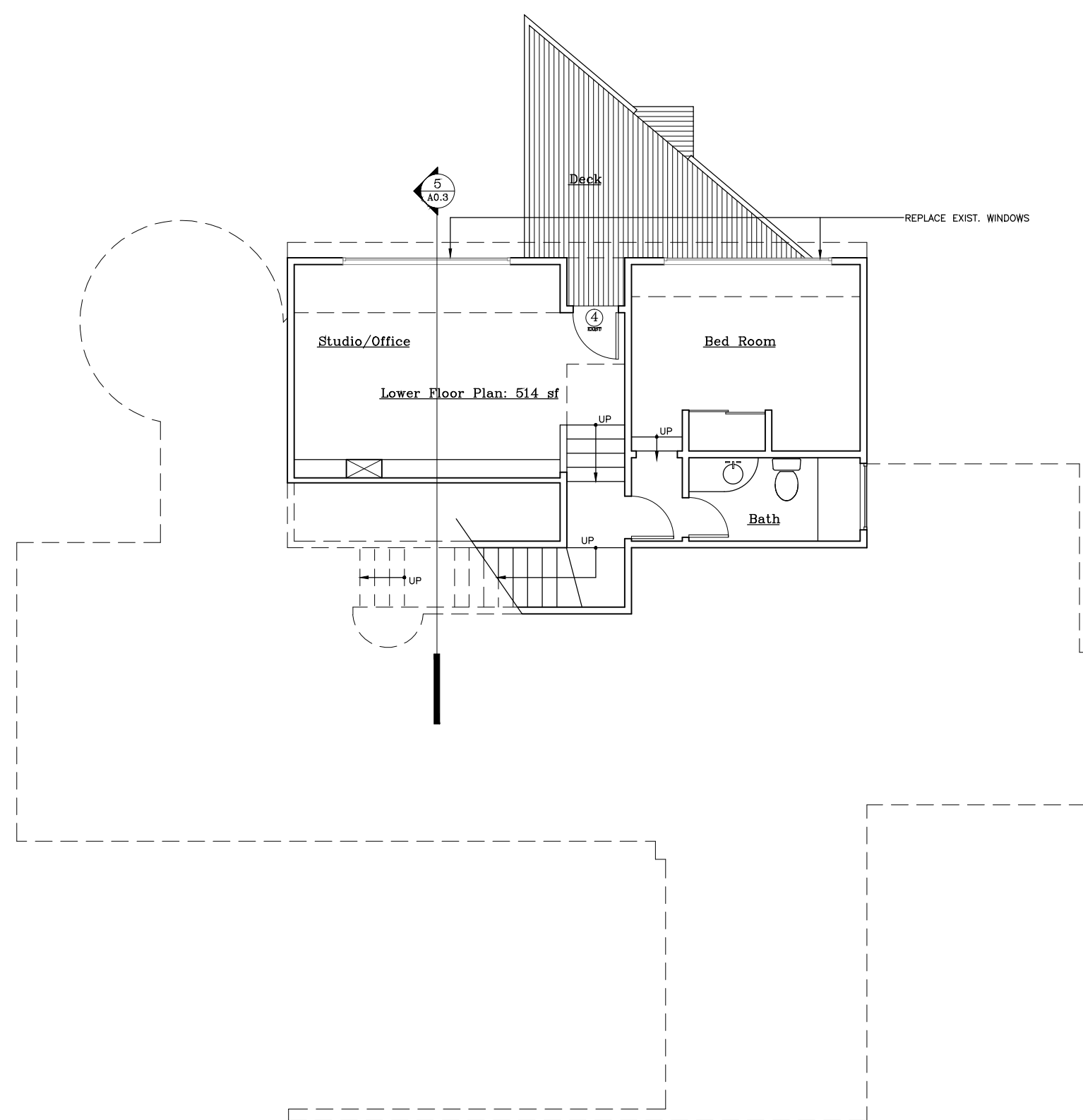
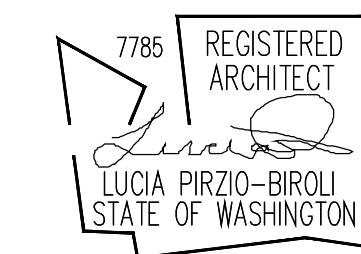
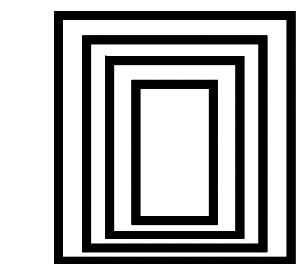
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Scale:

Sheet:

Project
Information

A0.1



1

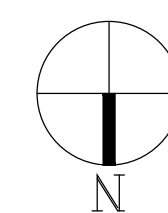
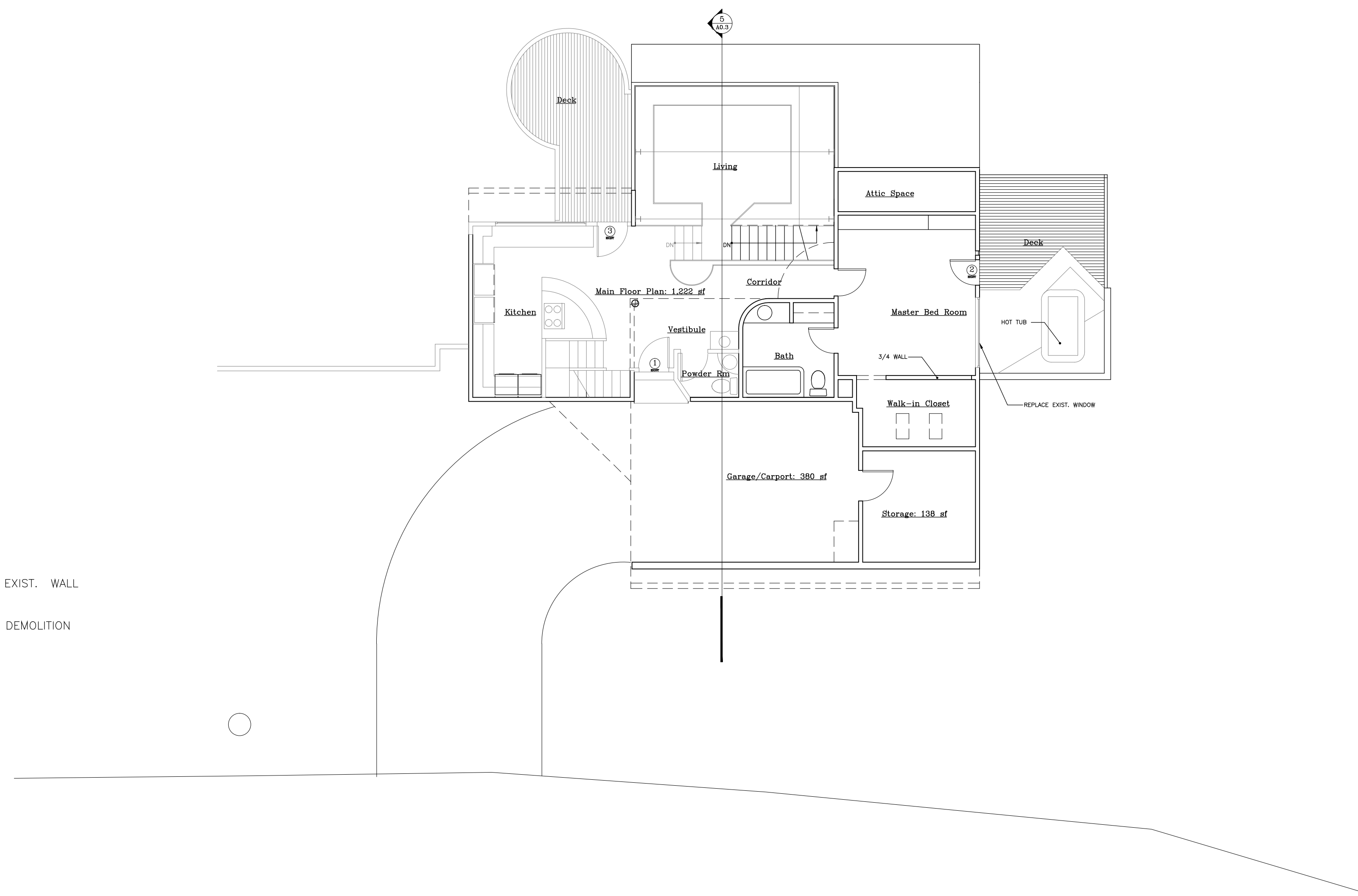
Lower Floor Plan - As Built/Demo Plan

scale: 1/8"=1'-0"

THERE IS NO PROPOSED CHANGED TO EXIST. HEATED AREA @ THIS LEVEL
HEATED AREA = 512SF

Legend

- EXIST. WALL
- DEMOLITION



2

Main Floor Plan - As Built/Demo Plan

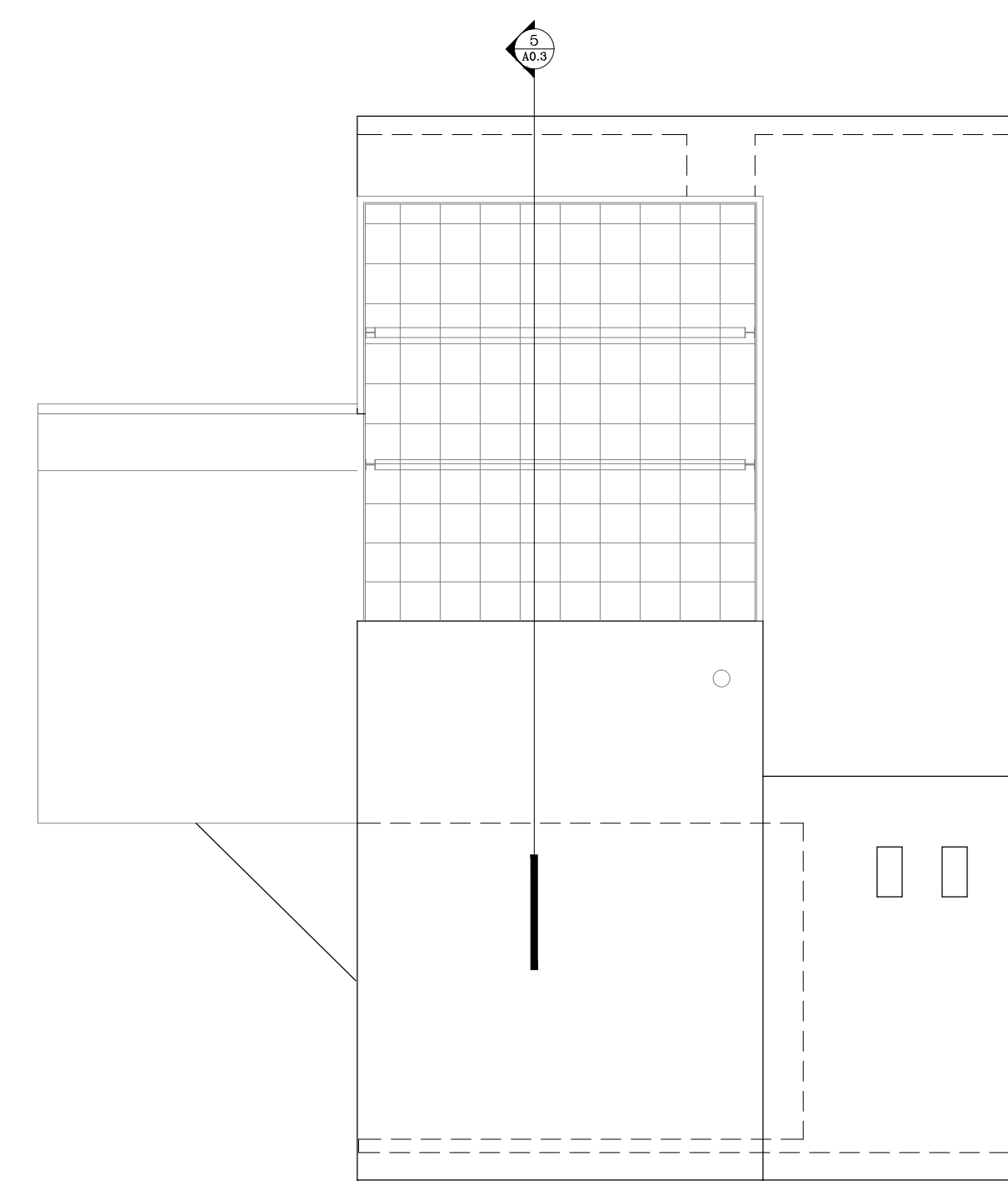
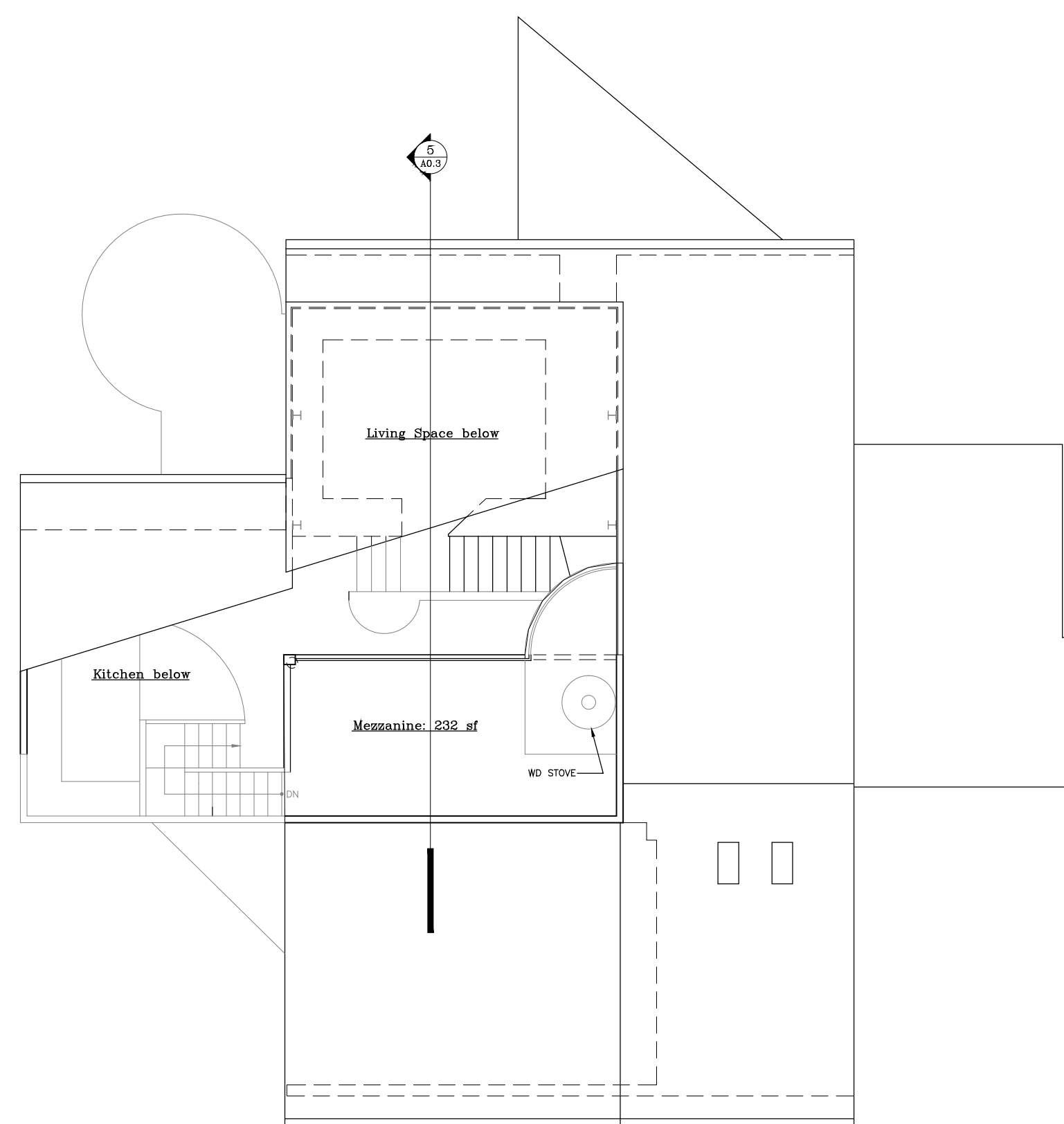
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VANEY / SHINDE
Remodel/Addition
4207 West Mercer Way
Mercer Island, WA 98040

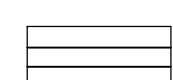
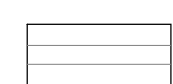
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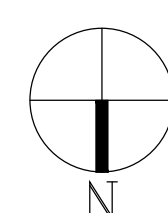
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As-Built
Demo Plan
A0.2

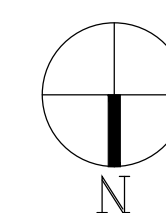


Legend

-  EXIST. WALL
-  DEMOLITION



3 Upper Floor Plan - As Built/Demo Plan
scale: 1/8"=1'-0"



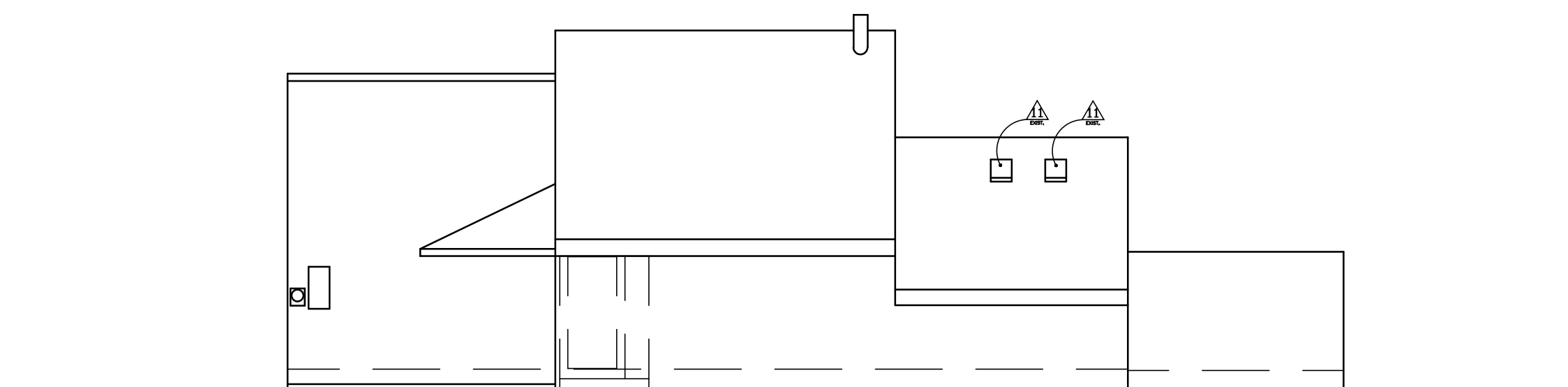
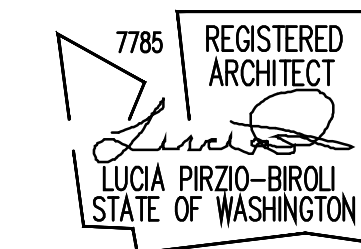
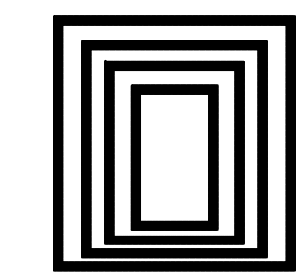
4 Roof Plan - As Built/Demo Plan
scale: 1/8"=1'-0"

VANEY / SHINDE
Remodel/Addition
4207 West Mercer Way
Mercer Island, WA 98040

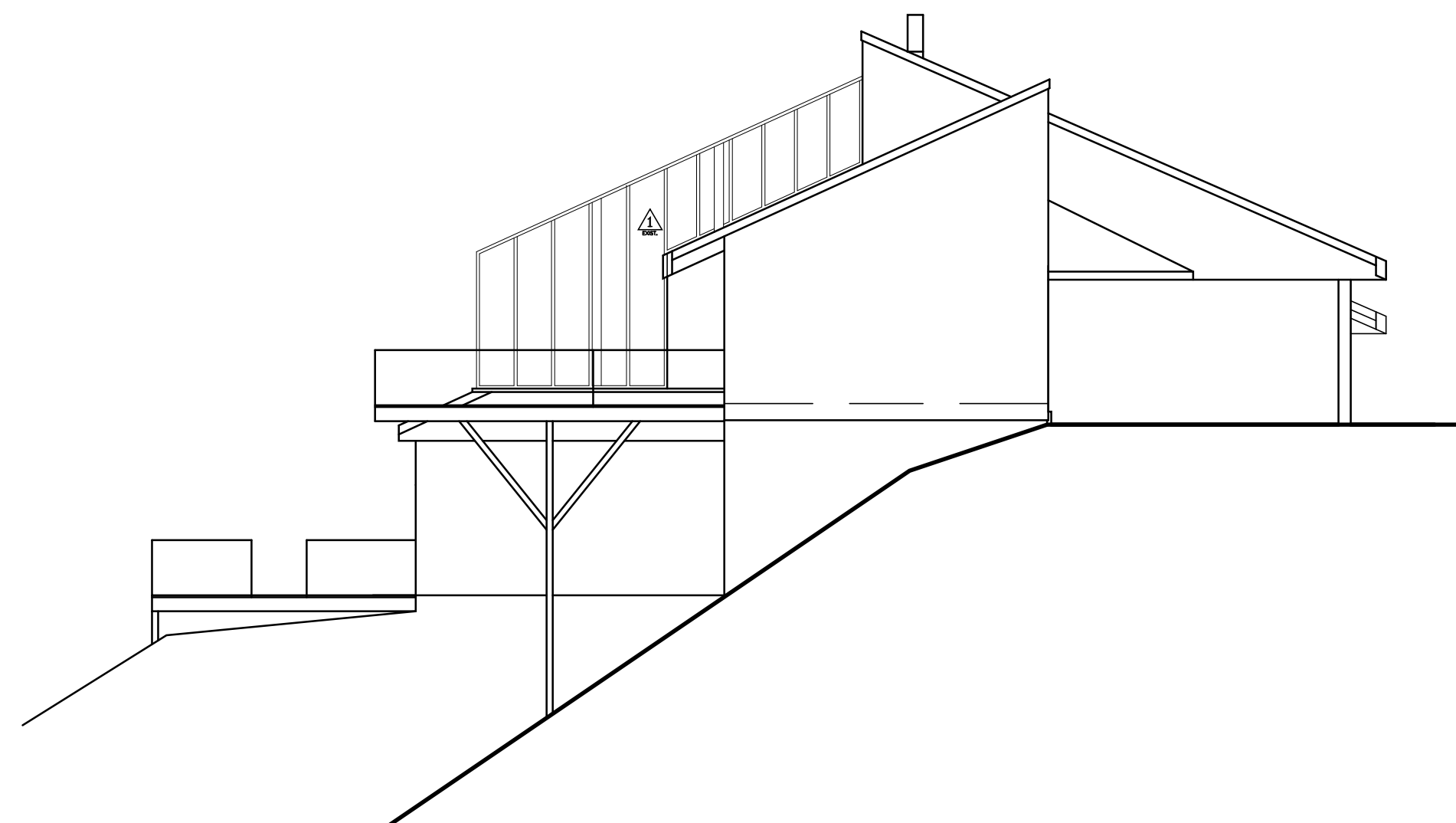
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Scale:
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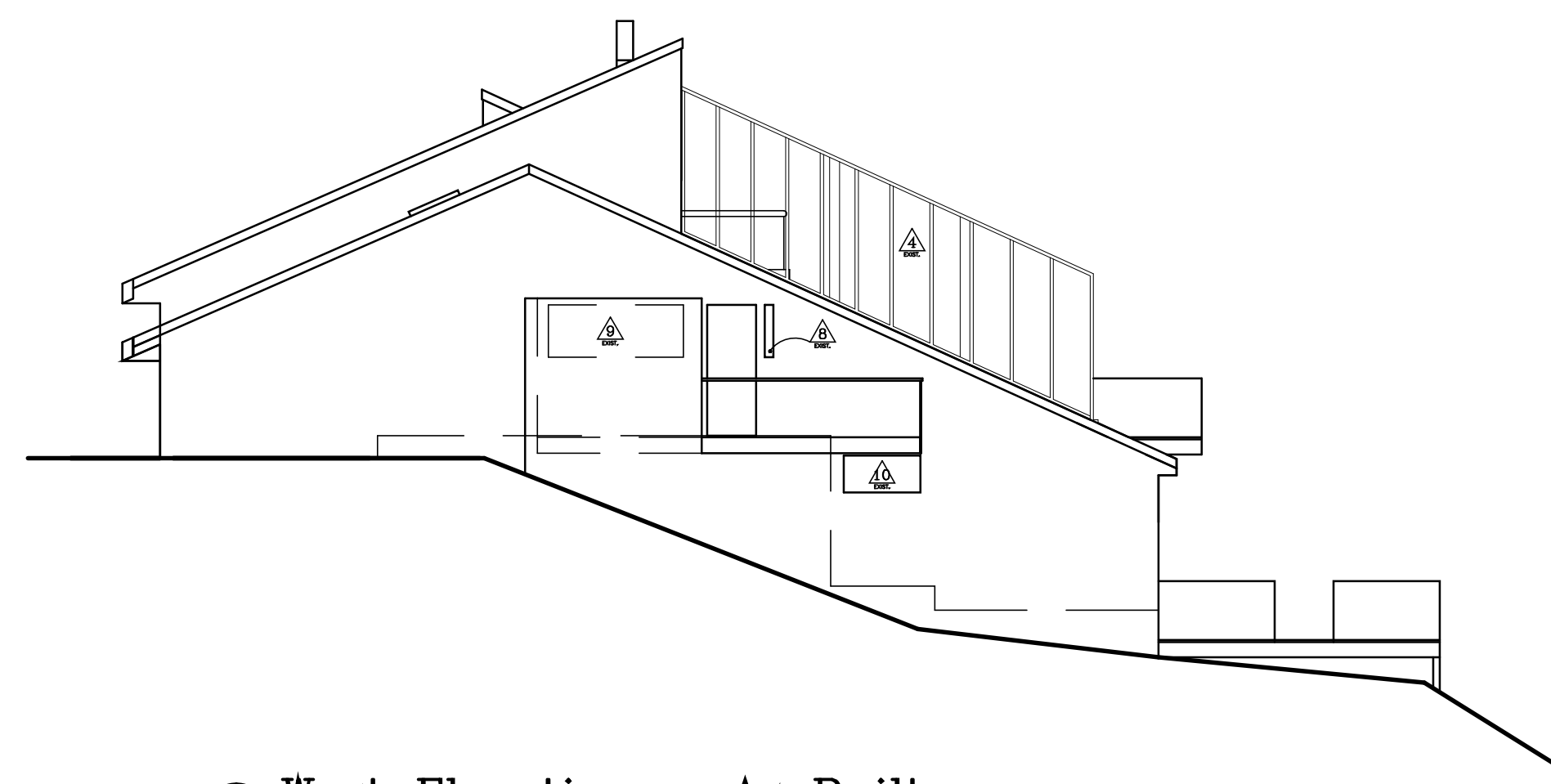
As-Built
Demo Plan
A0.3



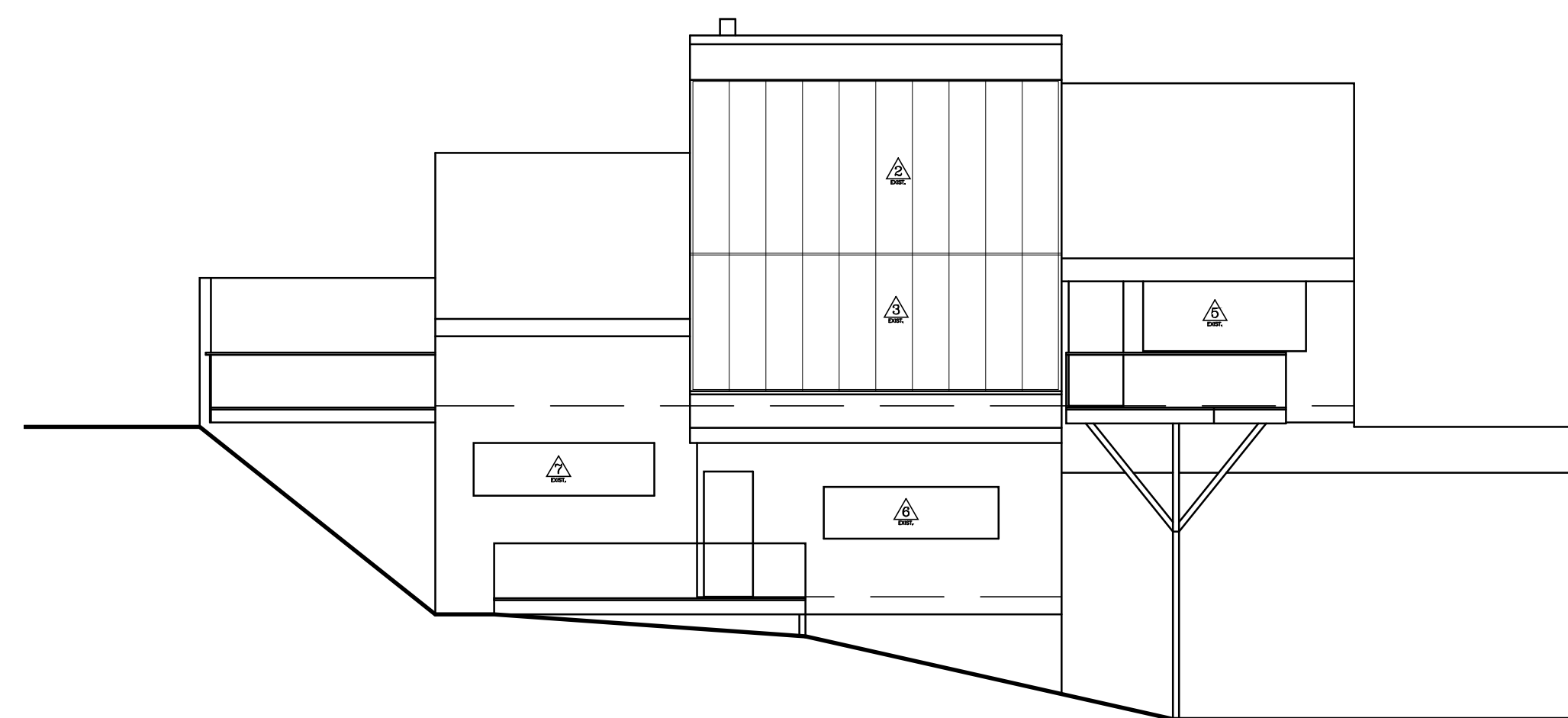
1 North Elevation - As Built
1/8"=1'-0"



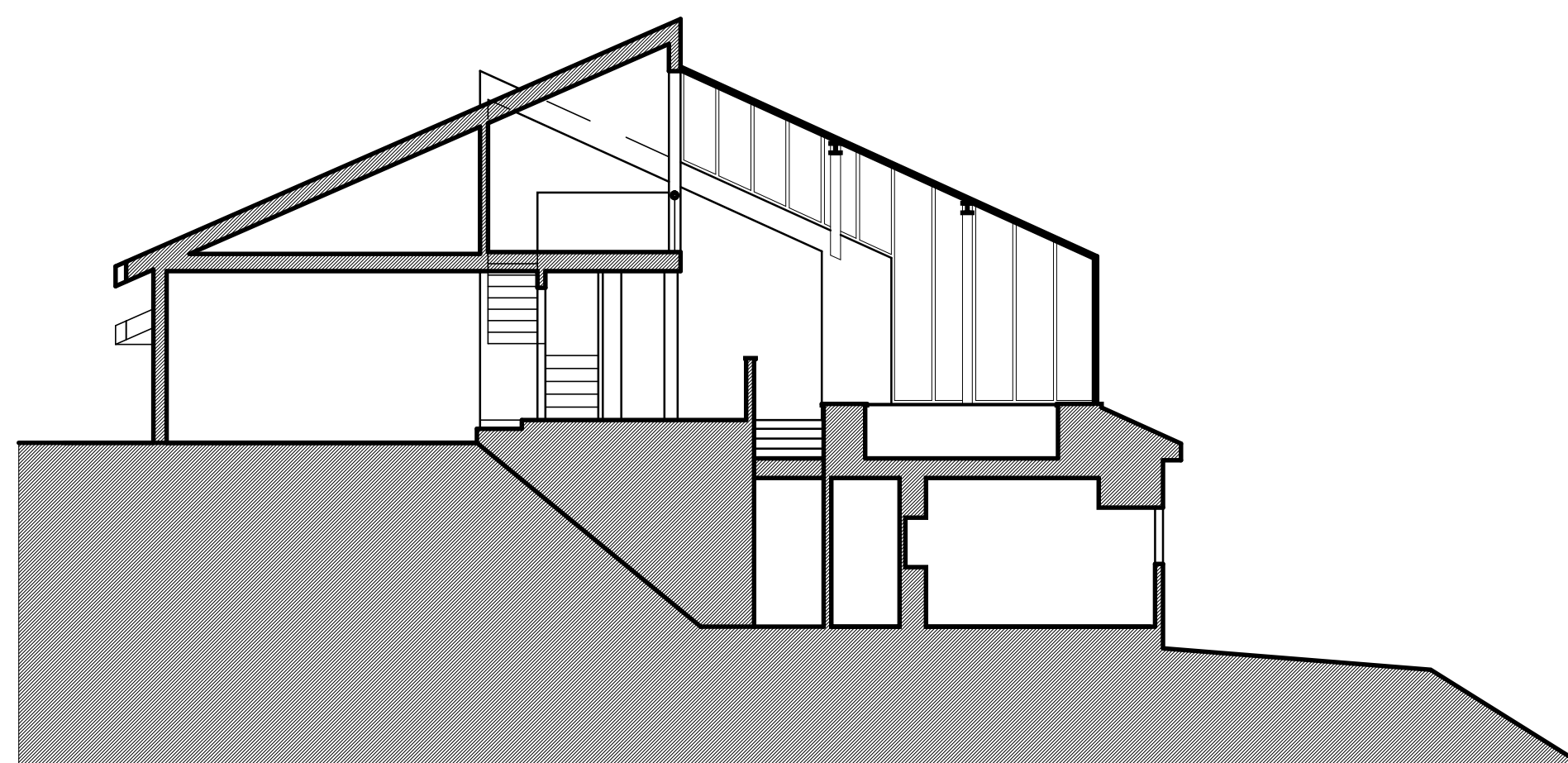
2 East Elevation - As Built
1/8"=1'-0"



4 West Elevation - As Built
1/8"=1'-0"



3 South Elevation - As Built
1/8"=1'-0"



6 Building Section - As Built
1/8"=1'-0"

VANEY / SHINDE
Remodel/Addition
4207 West Mercer Way
Mercer Island, WA 98040

Date:
7/17/18 Permit Intake

Scale:
Sheet:

TOPOGRAPHIC & BOUNDARY SURVEY

SE 1/4 OF THE NE 1/4 OF SEC. 13, TWP. 24N., RGE. 4E., W.M.
CITY OF MERCER ISLAND, KING COUNTY, WA.

LEGAL DESCRIPTION:

THE WEST 82 FEET OF THAT PORTION OF TRACT 13 IN HARRY WHITE'S PLAT OF EAST SEATTLE ACRE TRACTS, AS PER PLAT RECORDED IN VOLUME 3 OF PLATS, PAGE 36, RECORDS OF KING COUNTY, LYING SOUTHERLY OF WEST MERCER WAY RIGHT-OF-WAY;

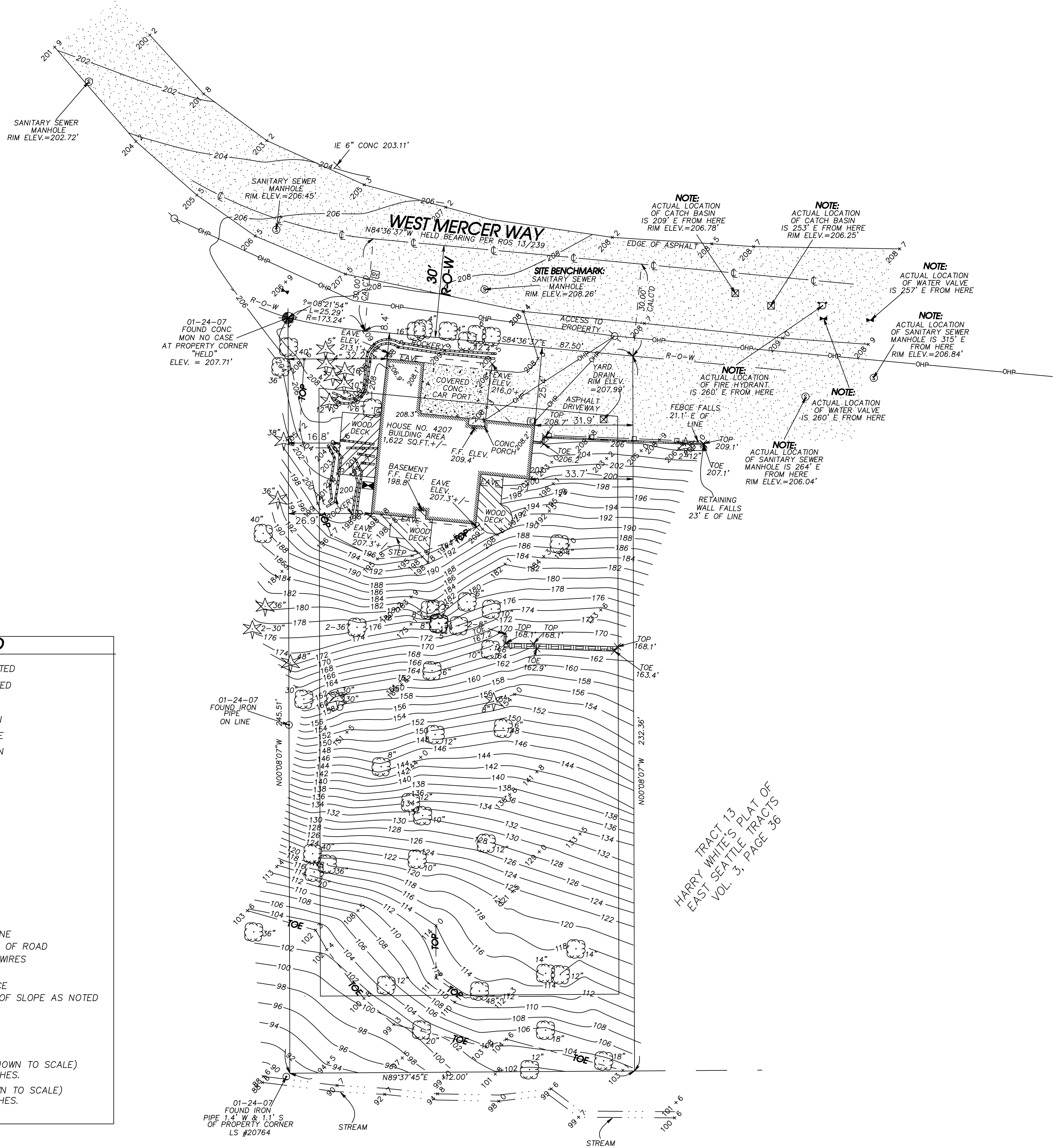
TOGETHER WITH THAT PORTION OF THE EAST 1/2 OF VACATED SECOND STREET ADJOINING ON THE WEST;

SITUATE IN THE CITY OF MERCER ISLAND, COUNTY OF KING, STATE OF WASHINGTON.

VERTICAL DATUM: (VISITED JANUARY 24, 2007)
CITY OF MERCER ISLAND BENCH MARK # 4282
(NAVD 88)

FOUND 1" BRASS NAIL IN CONC (DN 0.95'),
LOCATED 30' E DRIVEWAY #8005, EVERGREEN LANE.

ELEVATION ON NAIL = 141.19'



LEGEND

- ◆ FOUND MONUMENT AS NOTED
- FOUND IRON PIPE AS NOTED
- UTILITY POLE
- ⊠ CATCH BASIN/YARD DRAIN
- ⊙ SANITARY SEWER MANHOLE
- * FINISHED FLOOR ELEVATION
- ⊠ ELECTRIC METER
- X SPOT ELEVATION
- ⊠ WATER VALVE
- ⊠ AIR CONDITIONING UNIT
- ⊠ FIRE HYDRANT
- ⊠ GAS VALVE
- ⊠ GAS METER
- ▨ ASPHALT SURFACE
- ▨ RET. WALL
- ▨ CONC SURFACE
- ▨ DECK
- BUILDING LINE
- CENTERLINE OF ROAD
- OHP OVERHEAD WIRES
- ROCKERY
- WOOD FENCE
- TOP/ TOE OF SLOPE AS NOTED
- EAVES
- CONC CONCRETE
- R-O-W RIGHT-OF-WAY
- () RECORD
- DECIDUOUS TREE (NOT SHOWN TO SCALE)
TRUNK DIA SHOWN IN INCHES.
- ★ CONIFER TREE (NOT SHOWN TO SCALE)
TRUNK DIA SHOWN IN INCHES.

BEARING MERIDIAN:

A BEARING OF N84°36'37"W ON THE CENTERLINE OF WEST MERCER WAY, PER RECORD OF SURVEY AS RECORDED IN BOOK 13, PAGE 239, RECORDS OF KING COUNTY, WA.

SURVEYOR'S NOTES:

- 1) THE TOPOGRAPHIC SURVEY SHOWN HEREON WAS PERFORMED IN JANUARY OF 2007. THE FIELD DATA WAS COLLECTED AND RECORDED ON MAGNETIC MEDIA THROUGH AN ELECTRIC THEODOLITE. THE DATA FILE IS ARCHIVED ON DISC OR CD. WRITTEN FIELD NOTES MAY NOT EXIST. CONTOURS ARE SHOWN FOR CONVENIENCE ONLY. DESIGN SHOULD RELY ON SPOT ELEVATIONS.
- 2) SUBJECT PROPERTY TAX PARCEL NO. 936570-0163.
- 3) SUBJECT PROPERTY AREA PER THIS SURVEY IS 26,673 SQ.FT.±.
- 4) A TITLE REPORT WAS NOT FURNISHED AND THEREFOR, EASEMENTS IF ANY, NOT SHOWN ON THIS MAP.

TOPOGRAPHIC & BOUNDARY SURVEY

CHAN RESIDENCE
4207 W. MERCER WAY
MERCER ISLAND, WA. 98040

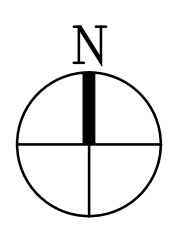
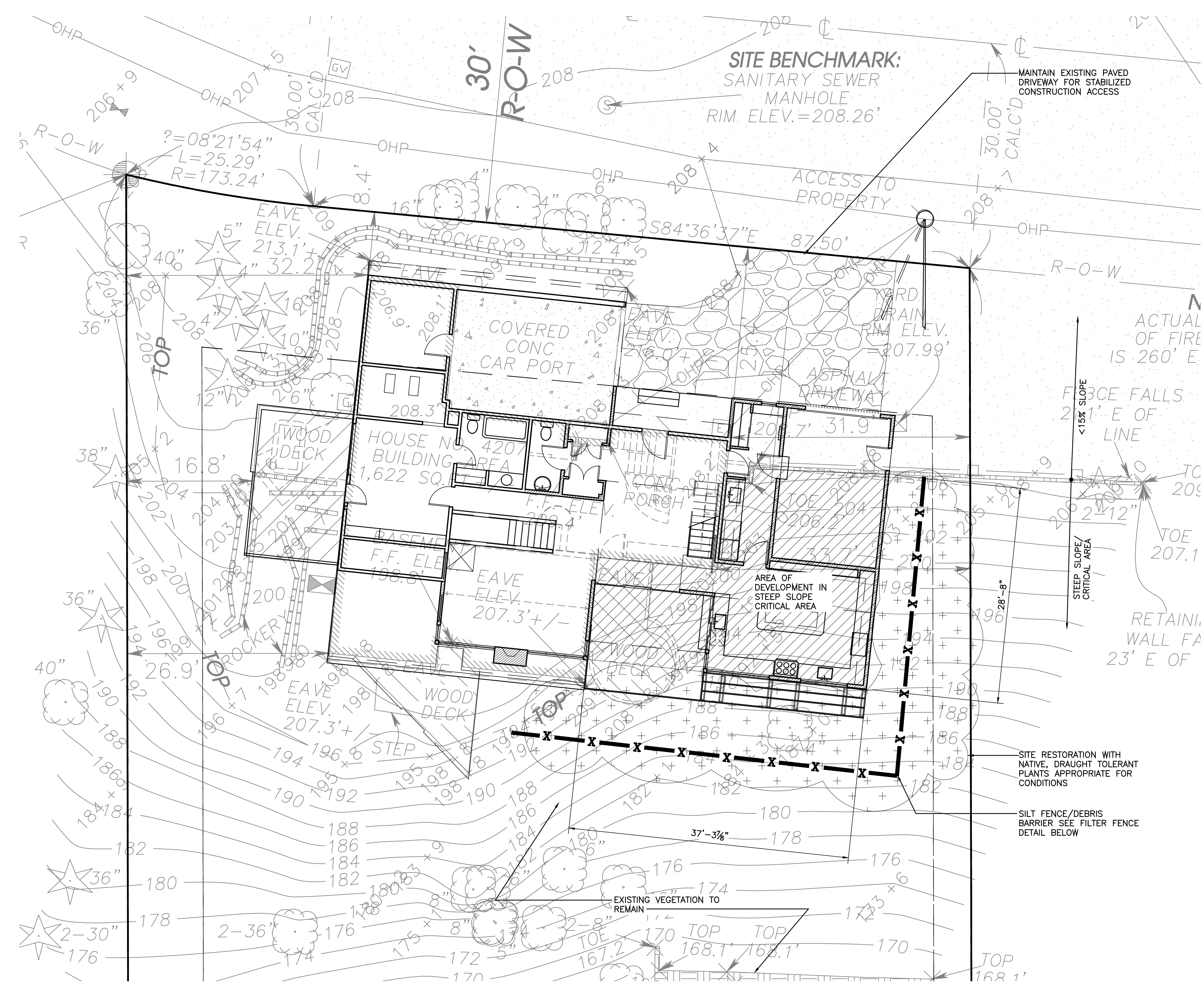
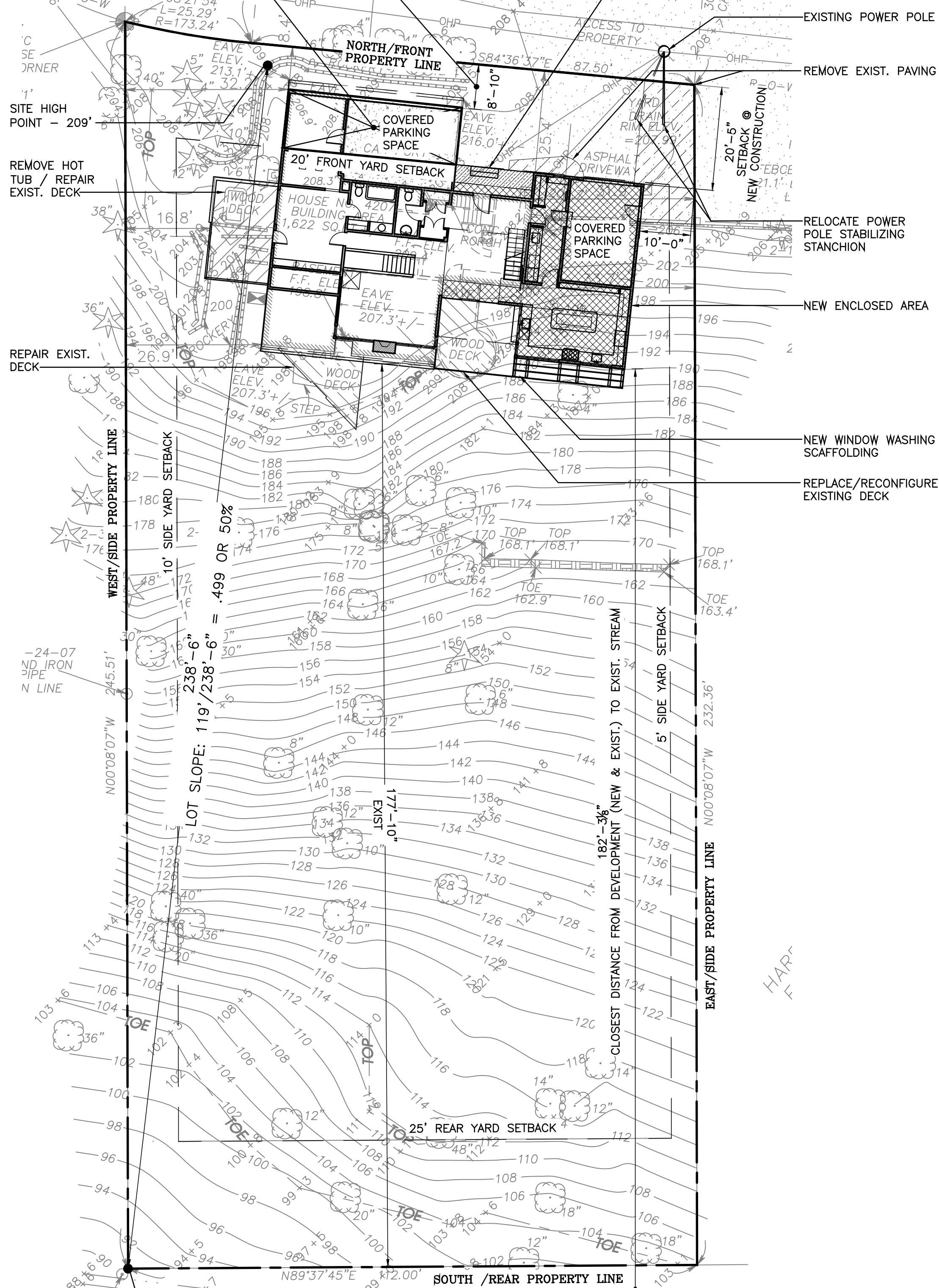
DWN. BY V.L.J.	DATE 01/26/2007	JOB NO. 7003
CHKD. BY K.B.G.	SCALE 1"=20'	SHEET 1 OF 1

GeoDimensions

6210 FAIRWAY PLACE SE
SNOQUALMIE, WA. 98065
PHONE (425) 458-4488
FAX (206) 686-2950

SETBACK © LEGALLY EXISTING
NON-CONFORMING ACCESSORY
STRUCTURE

NON-CONFORMING LEGALLY
EXISTING ACCESSORY
STRUCTURE: CARPORT &
STORAGE - SEE NOTE 1

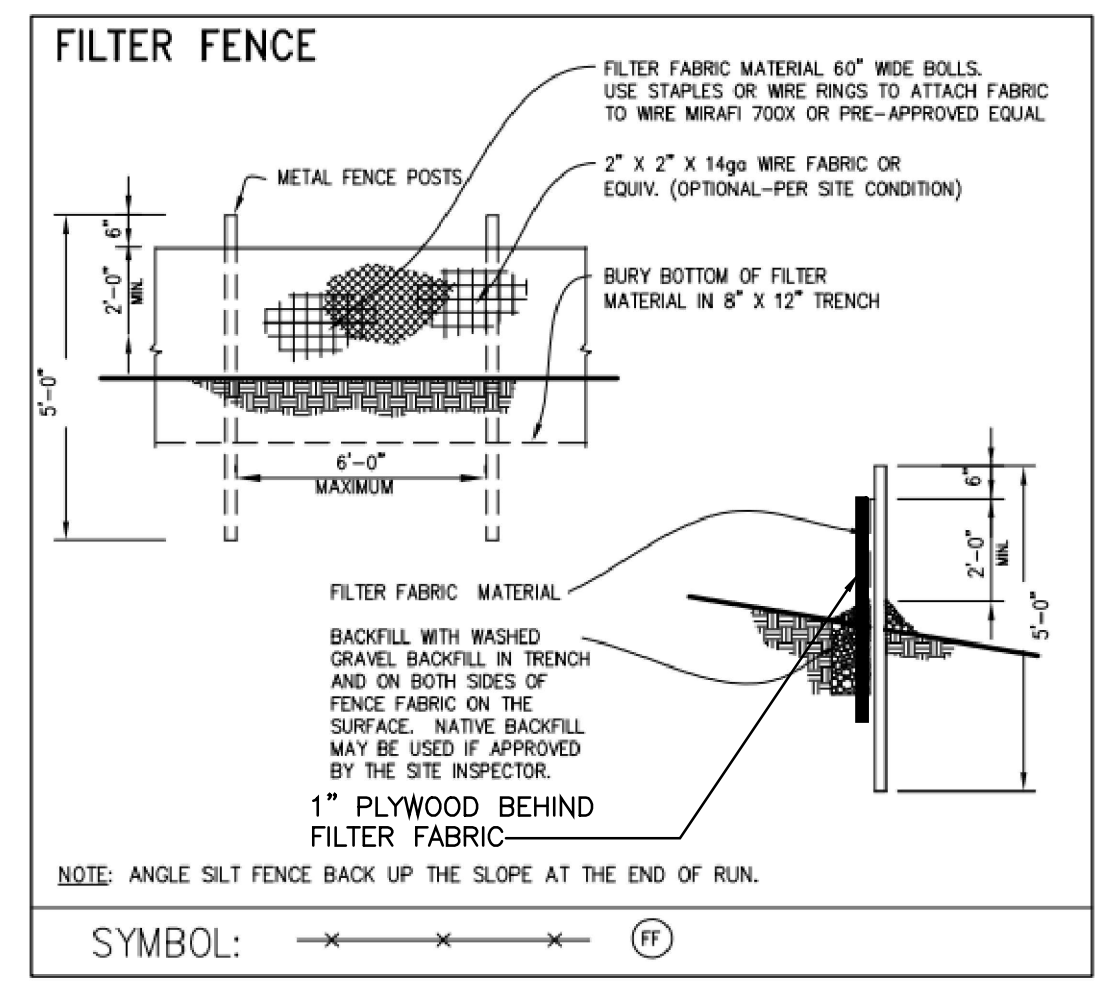


2 Critical Area Site Plan
Scale: 1/8"=1'-0"

- Critical Area Plan Notes:**
1. Install erosion control BMP's prior to start of disturbance.
 2. Protect stormwater BMPs before during and after construction.
 3. Maintain and inspect BMP's
 4. Site disturbance work performed during the wet season (October 1 and April 1) requires Seasonal Development Limitation Waiver application from the City of Mercer Island.

1 General Site Plan
Scale: 1/16"=1'-0"

- SITE PLAN NOTES:**
1. Exterior alterations or enlargements of non-conforming structures see MICC: 19.01.050.D.1.b.ii
 2. Per MICC: 19.020.F.3 allowed lot coverage 20% of 26,673SF or 5,334.6SF.
 3. Tightline new downspouts to existing roof drainage system.
 4. See A1.1 for height, lot coverage and impervious surface calculations



Studio Ectypos
ARCHITECTURE

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t. (206)232-9147
www.studioectypos.com

785 REGISTERED ARCHITECT

LUCIA PIRZIO-BROLLI
STATE OF WASHINGTON

VANEY / SHINDE
Remodel/Addition
4207 West Mercer Way
Mercer Island, WA 98040

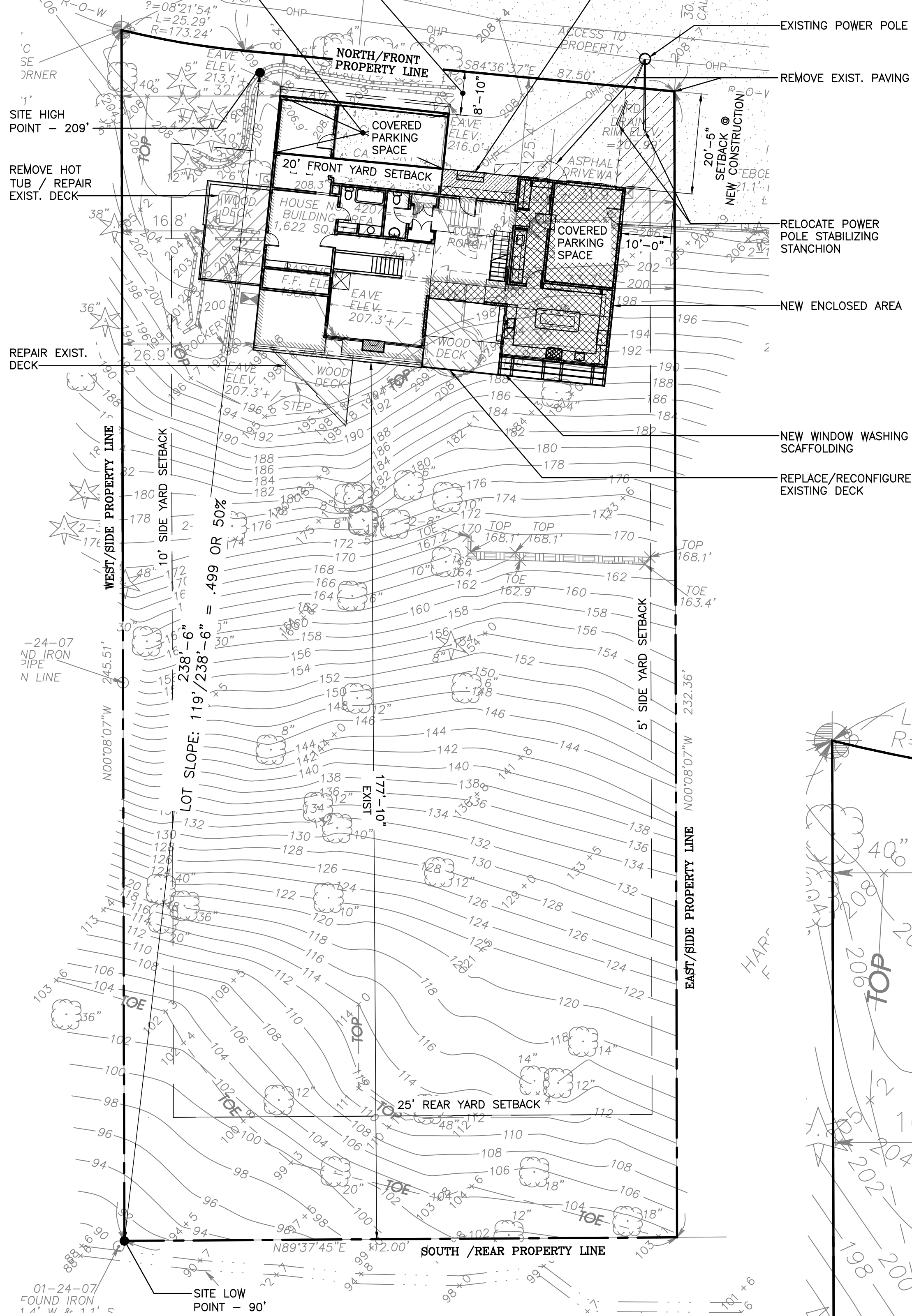
Date: 7/17/18 Permit Intake

Scale:

Sheet:

SETBACK © LEGALLY EXISTING NON-CONFORMING ACCESSORY STRUCTURE

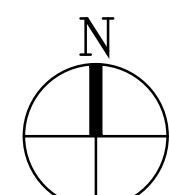
NON-CONFORMING LEGALLY EXISTING ACCESSORY STRUCTURE: CARPORT & STORAGE - SEE NOTE 1



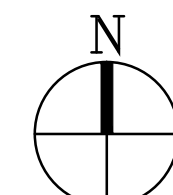
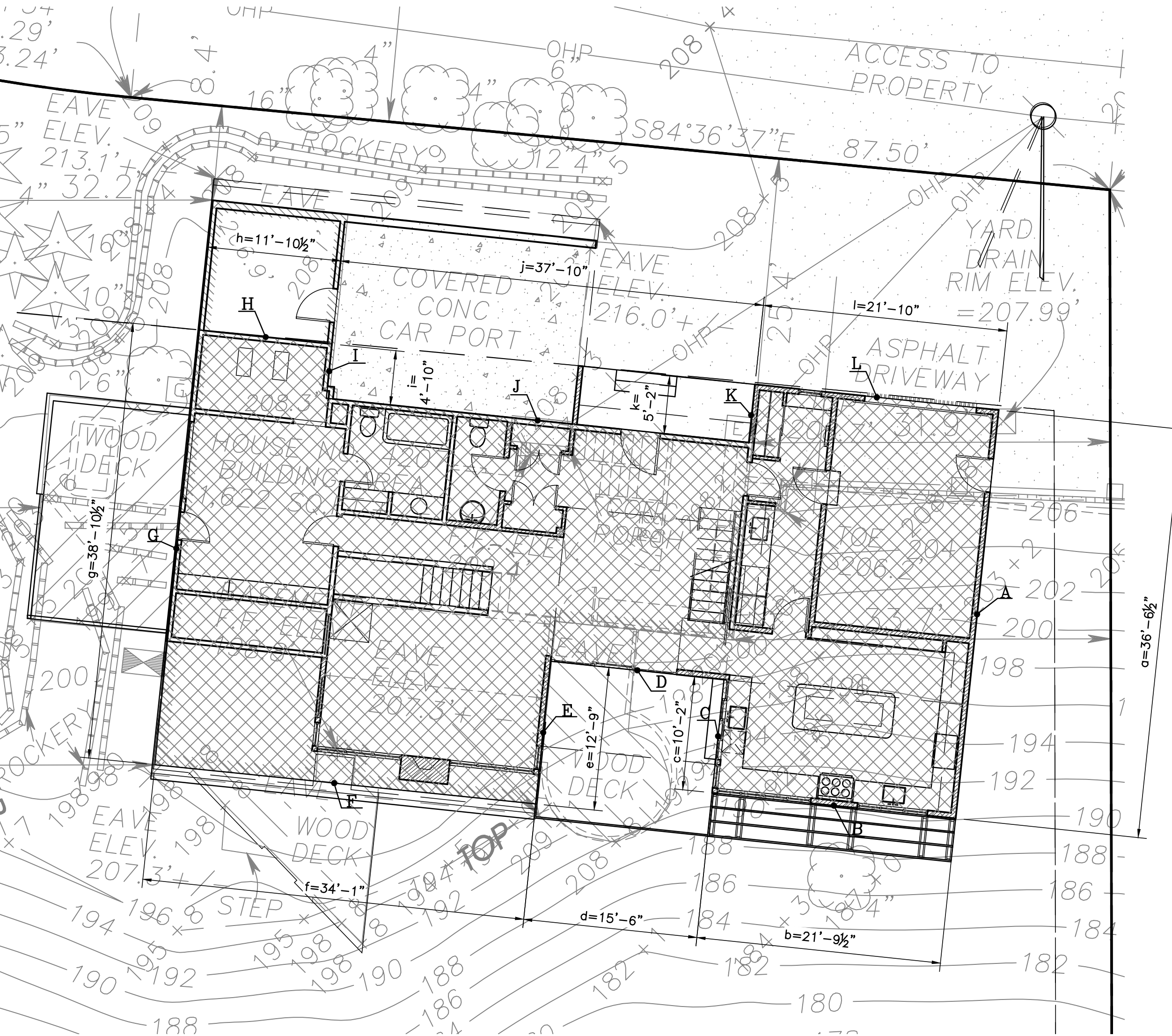
1 Site Plan
Scale: 1/16"=1'-0"

- SITE PLAN NOTES:
- Exterior alterations or enlargements of non-conforming structures see MICC: 19.01.050.D.1.b.ii
 - Per MICC: 19.020.F.3 allowed lot coverage 20% of 26,673SF or 5,334.6SF.
 - Tightline new downspouts to existing roof drainage system

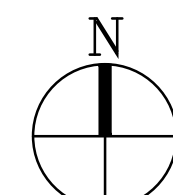
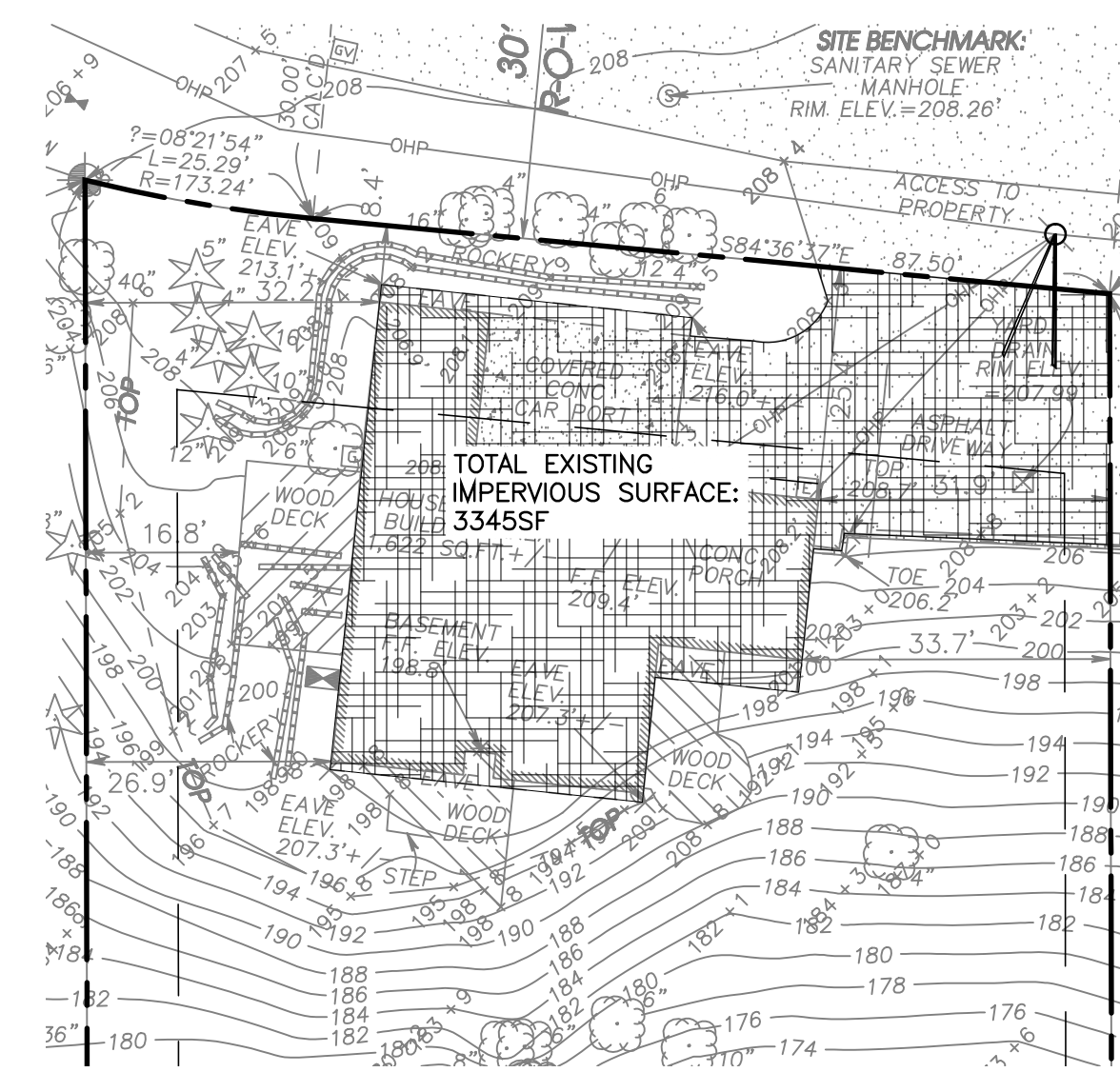
AVERAGE BUILDING ELEVATION			
Mid-point Elev.	Wall Segment Length	Elev x Length	
A= 200 ft	* a= 36.5 ft	= 7300.0	
B= 190 ft	* b= 21.8 ft	= 4142.0	
C= 194 ft	* c= 10.2 ft	= 1978.8	
D= 200 ft	* d= 15.5 ft	= 3100.0	
E= 198 ft	* e= 12.8 ft	= 2534.4	
F= 198 ft	* f= 16.4 ft	= 3247.2	
G= 204 ft	* g= 38.9 ft	= 7935.6	
H= 208 ft	* h= 11.9 ft	= 2475.2	
I= 208 ft	* i= 4.8 ft	= 998.4	
J= 208 ft	* j= 37.8 ft	= 7862.4	
K= 208 ft	* k= 5.2 ft	= 1081.6	
L= 208 ft	* l= 21.8 ft	= 4534.4	
	total=	total=	
	164.0 ft.	32713.2	
Avg. Building Elevation =		199.5 ft.	
Allowed Building Height =		229.5 ft.	



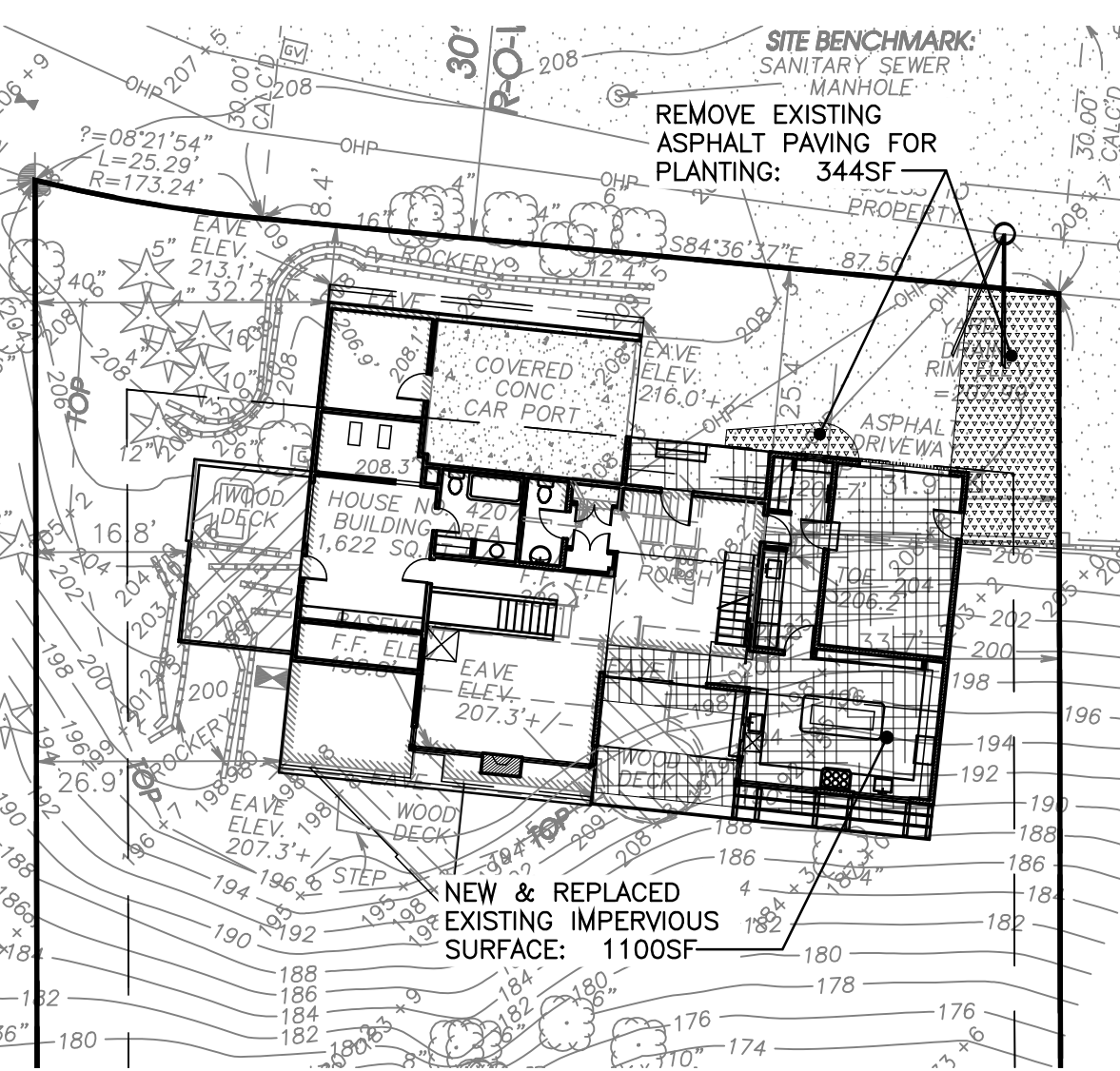
3 Existing Impervious Surface
Scale: 1"=20'



2 Average Building Elevation Calculation
Scale: 1/8"=1'-0"



4 New and Replaced Impervious Surface
Scale: 1"=20'

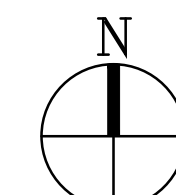


NEW & REPLACED HARD SURFACE: 1100SF
REMOVE EXISTING ASPHALT PAVING FOR PLANTING: 344SF
TOTAL NEW AND REPLACED IMPERVIOUS SURFACE: 7568SF

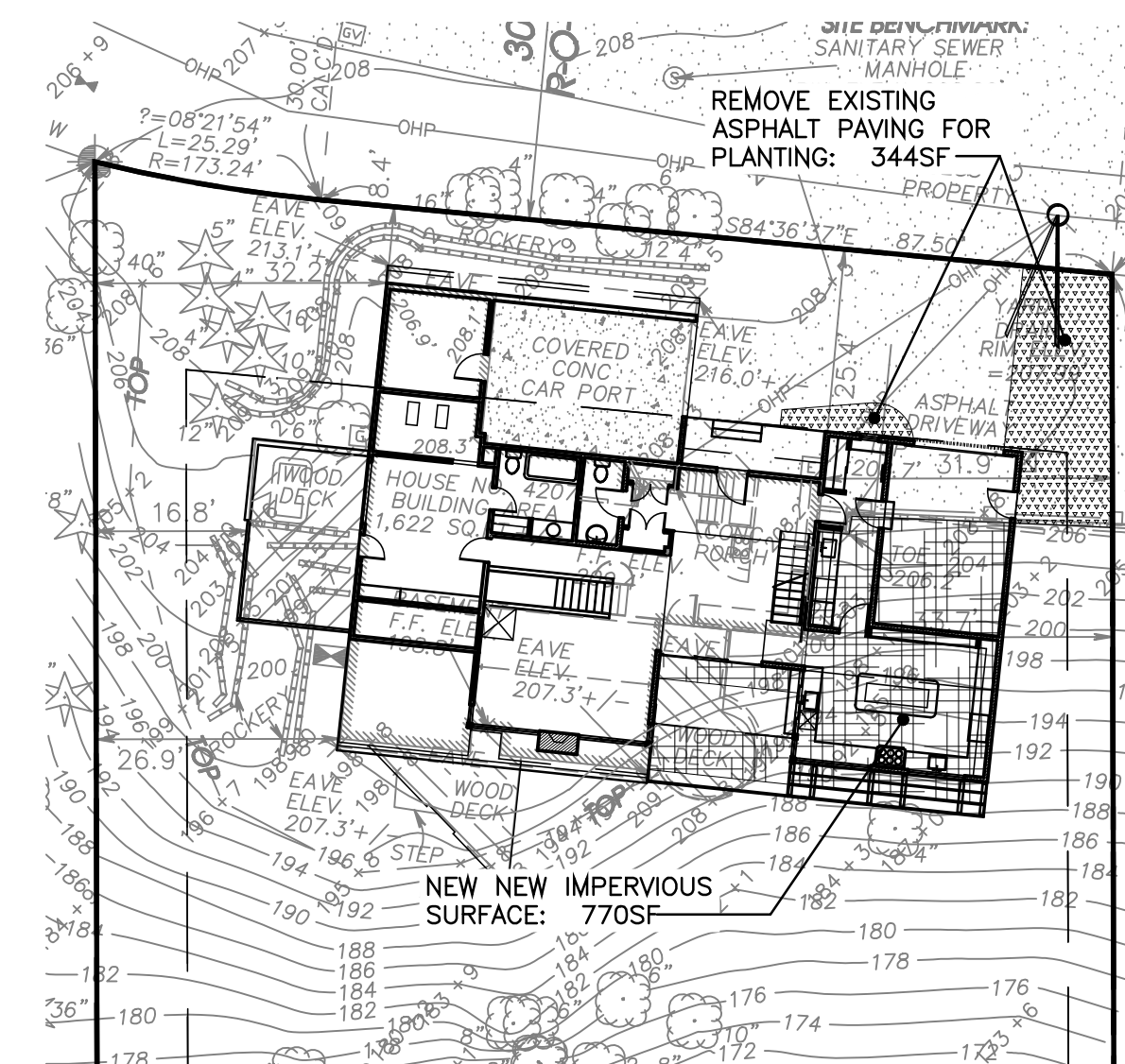
Impervious Surface Legend

Existing/New & Replace or New Impervious Surface: [Pattern]

Removed Impervious Surface: [Pattern]



5 New Impervious Surface
Scale: 1"=20'

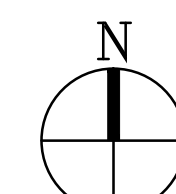


NEW HARD SURFACE: 770SF
REMOVE EXISTING ASPHALT PAVING FOR PLANTING: 344SF
TOTAL NEW IMPERVIOUS SURFACE: 4868SF

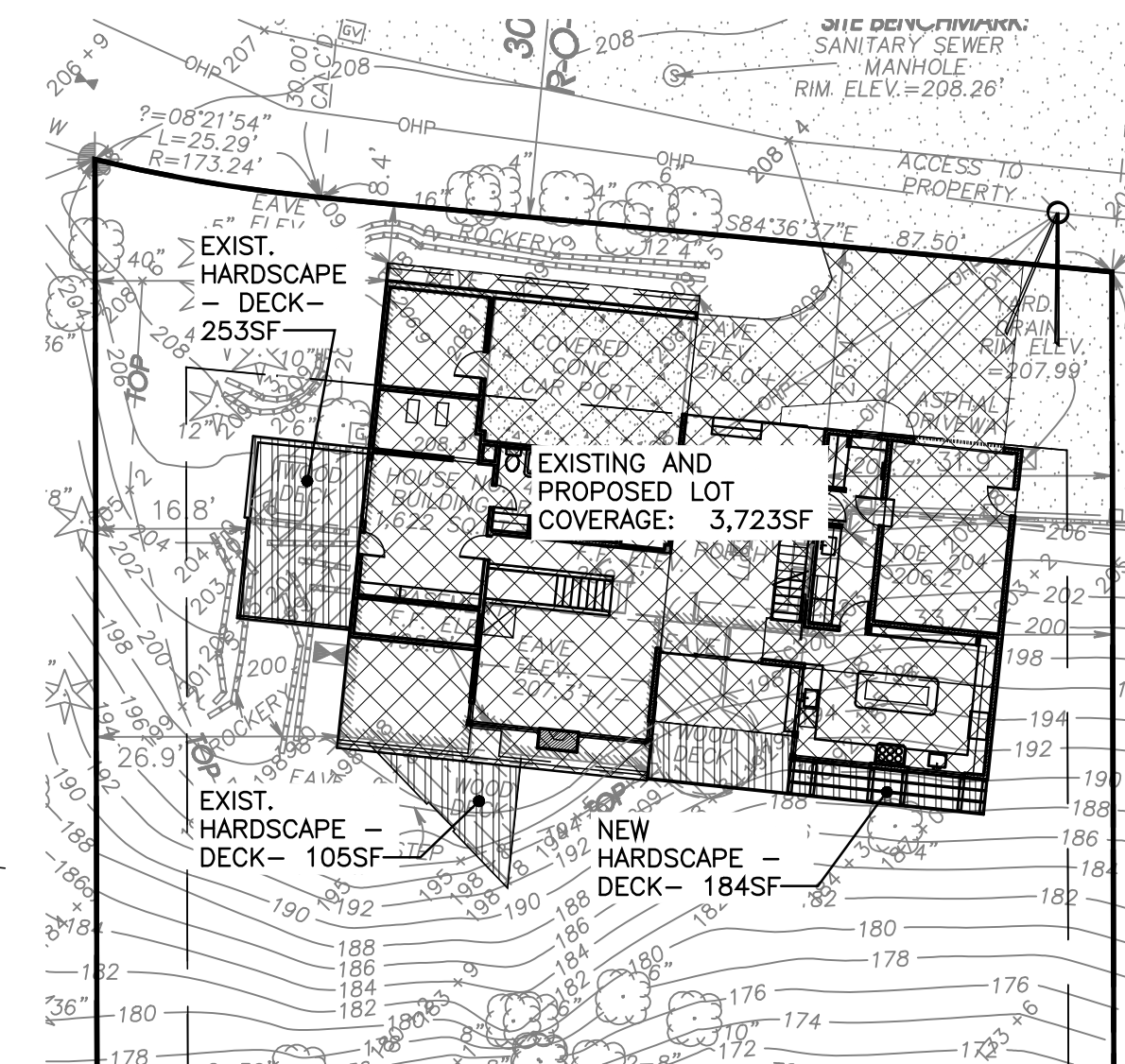
Impervious Surface Legend

Existing/New & Replace or New Impervious Surface: [Pattern]

Removed Impervious Surface: [Pattern]



6 Lot Coverage & Hardscape
Scale: 1"=20'



LOT COVERAGE AND HARDCAPE ALLOWED:

- Allowed lot coverage 30% of 26,673SF or 8002SF.
- Allowed hardscape 9% of 26,673SF or 2,401SF

LOT COVERAGE AND HARDCAPE PROPOSED:

- Existing and New Lot Coverage: 3723SF
- Existing and New Hardscape (Decks): 542SF

Lot Coverage & Hardscape Legend

Lot Coverage: Roofs and Drivable Surfaces [Pattern]

Hardscape: Decks & Uncovered Walkways [Pattern]

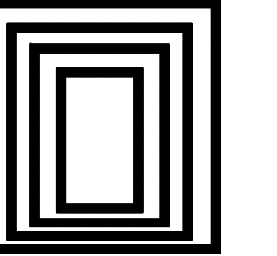
VANEY / SHINDE

Remodel/Addition

4207 West Mercer Way

Mercer Island, WA 98040

Studio Ectypos ARCHITECTURE



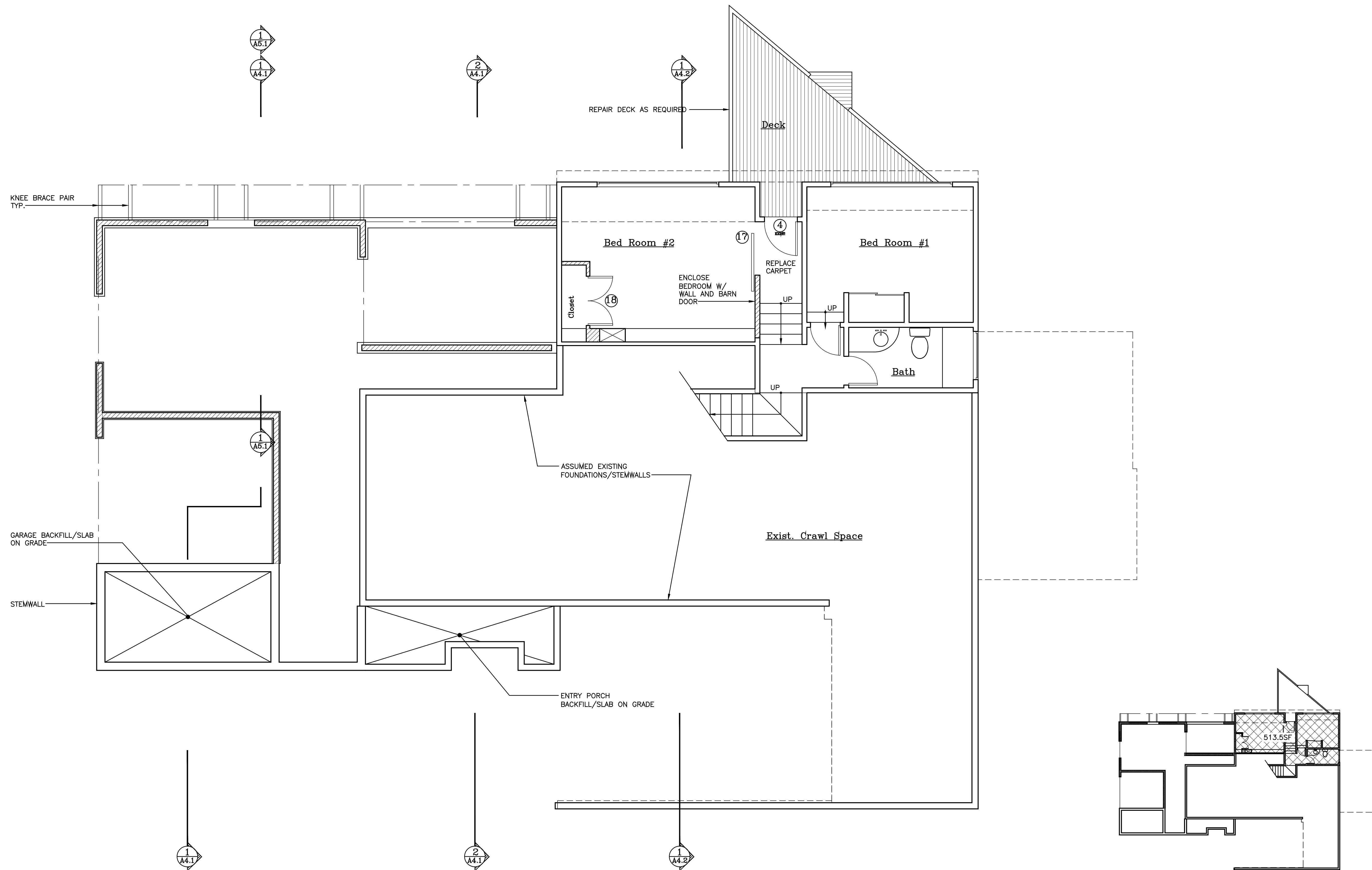
4212 W. Mercer Way
Mercer Island, WA 98040
t. (206)232-9147
www.studioectypos.com

785 REGISTERED ARCHITECT
LUCIA PRIZIO-BIRLOTTI
STATE OF WASHINGTON

Date: 7/17/18 Permit Intake

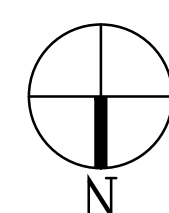
Scale:
Sheet:

Site Calculations
A1.1



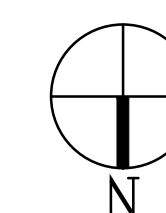
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Mercer Island, WA 98040

THERE IS NO PROPOSED CHANGED TO EXIST. HEATED AREA @ THIS LEVEL
HEATED AREA = 513SF




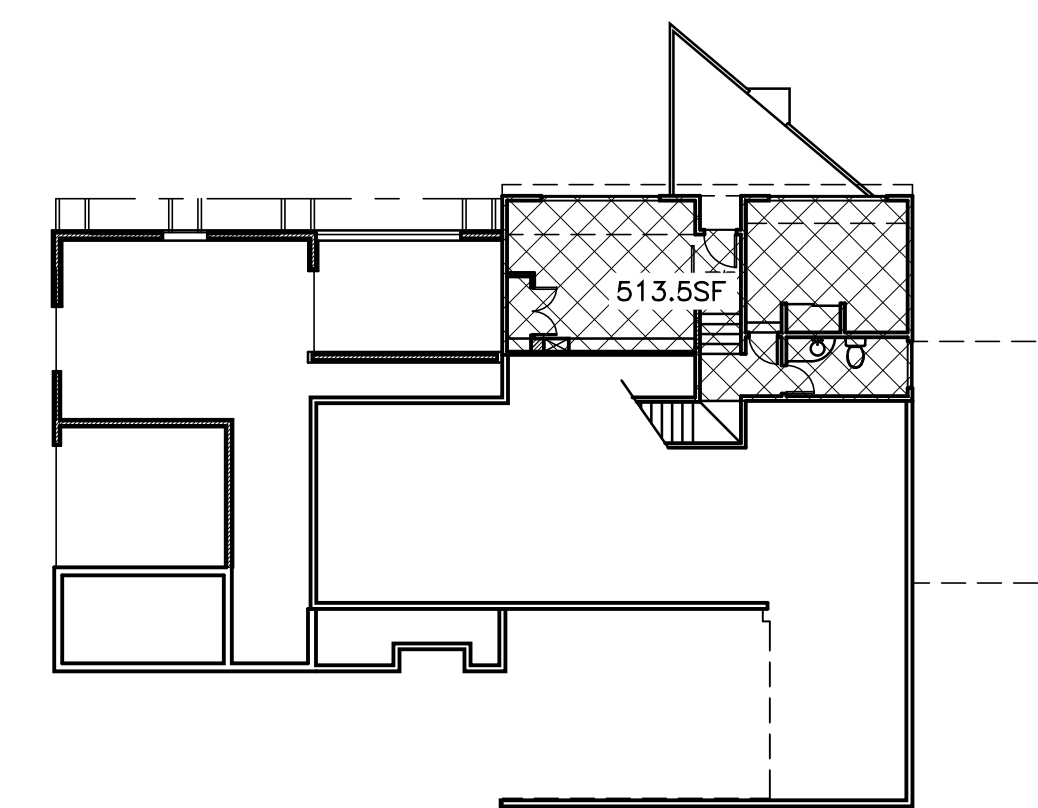
1 Lower Floor Plan / Foundation & Crawl Space Plan
scale: 1/4"=1'-0"

- NOTES:
1. KITCHEN FAUCETS MAXIMUM FLOW RATE 1.75 GAL/MIN. CREDIT 5g
 2. NEW LAVATORY SINK FAUCETS MAXIMUM FLOW RATE 1.0 GAL/MIN. CREDIT 5g
 3. NEW GAS WATER HEATER WITH A MINIMUM EF OF 0.74 CREDIT 1a
 4. DUCTLESS MINI SPLIT HEAT PUMP WITH ZONAL CONTROL TO PROVIDE PRIMARY HEATING SOURCE. CREDIT 3d



2 Lower Floor GFA Detail
scale: 1/16"=1'-0"

Legend
GFA 100% = 514sf 



Date:
7/17/18 Permit Intake

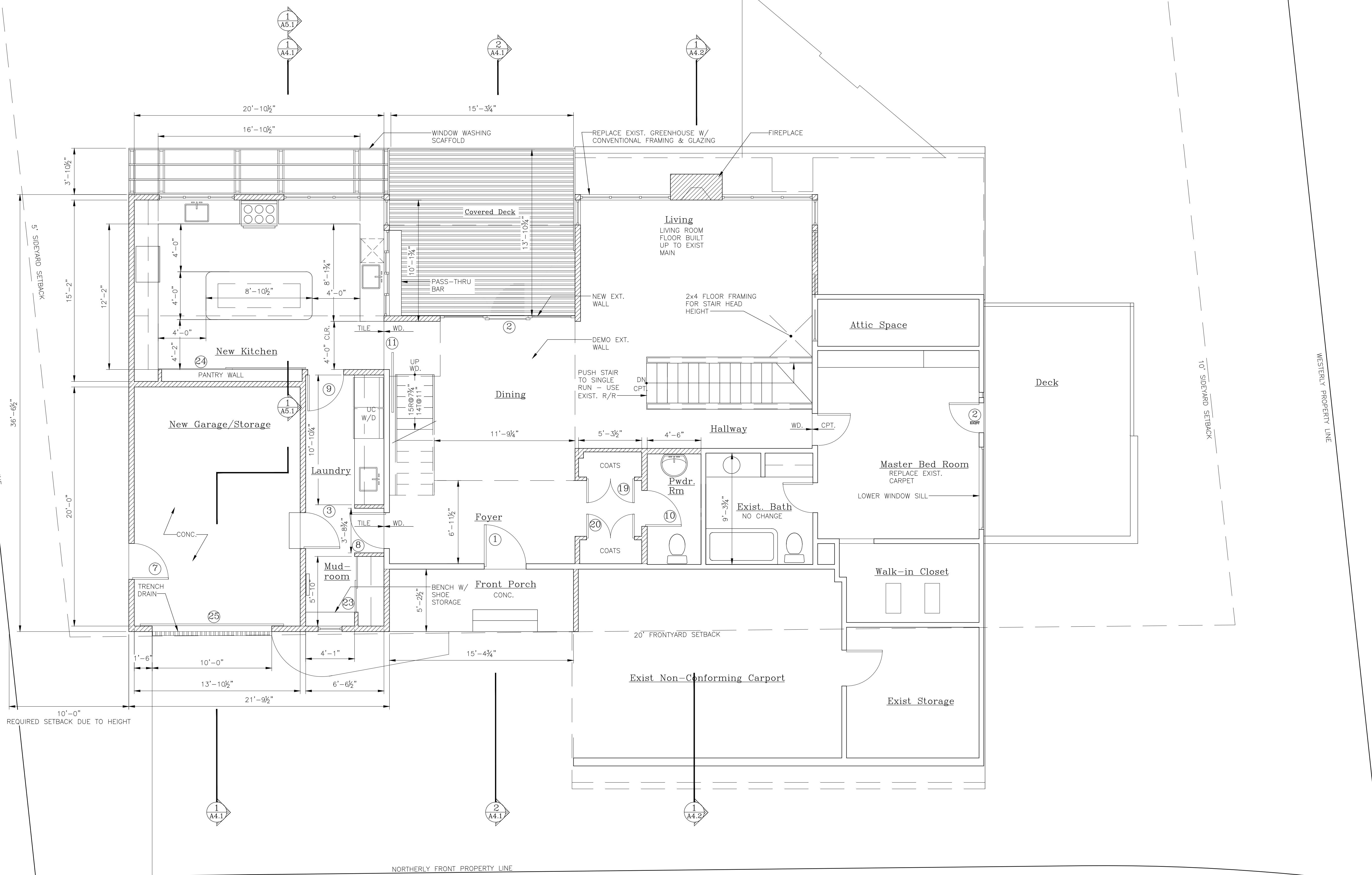
Scale:

Sheet:

Lower Floor Plan

A2.0

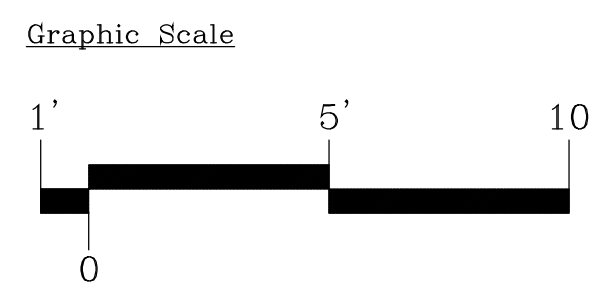
VANEY / SHINDE
Remodel/Addition
4207 West Mercer Way
Mercer Island, WA 98040



EXIST. POWER POLE - REDIRECT GUY OUT OF DRIVEWAY

- NOTES:**
- KITCHEN FAUCETS MAXIMUM FLOW RATE 1.75 GAL./MIN. CREDIT 5_o
 - NEW LAVATORY SINK FAUCETS MAXIMUM FLOW RATE 1.0 GAL./MIN. CREDIT 5_o
 - NEW GAS WATER HEATER WITH A MINIMUM EF OF 0.74 CREDIT 1_o
 - DUCTLESS MINI SPLIT HEAT PUMP WITH ZONAL CONTROL TO PROVIDE PRIMARY HEATING SOURCE. CREDIT 3_d

1 Main Floor Plan
scale: 1/4"=1'-0"



Legend

— EXIST. WALL

— NEW WALL

2 Main Floor GFA Detail
scale: 1/16"=1'-0"

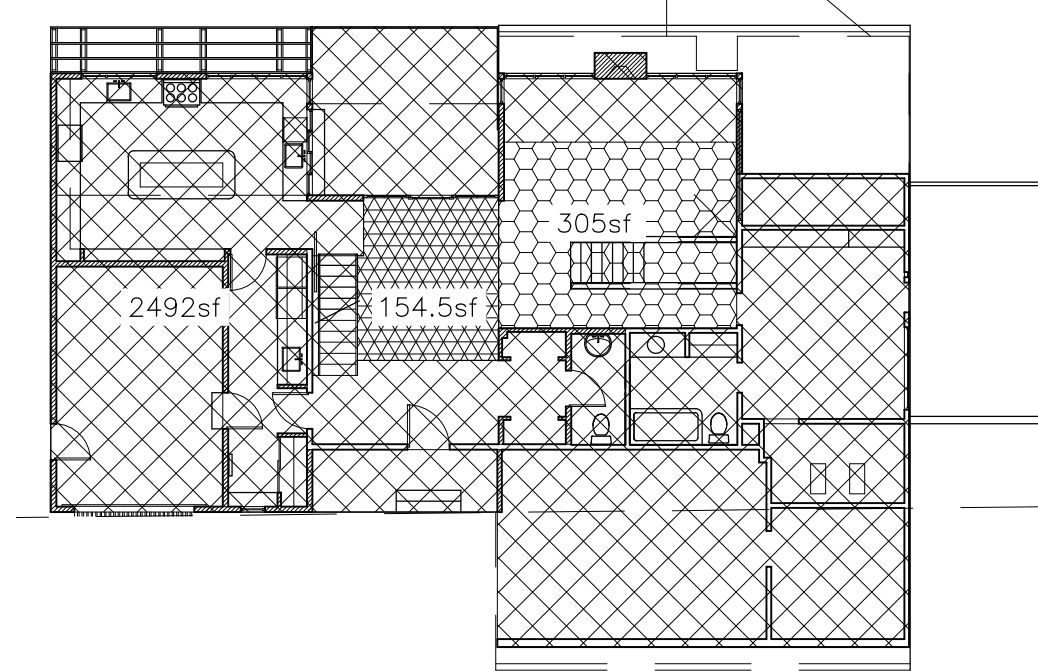
Legend

▨ GFA 100% = 2440sf

▩ GFA 150% = 457.5sf

▧ GFA 200% = 309sf

TOTAL MAIN FLOOR GFA = 3206.5SF

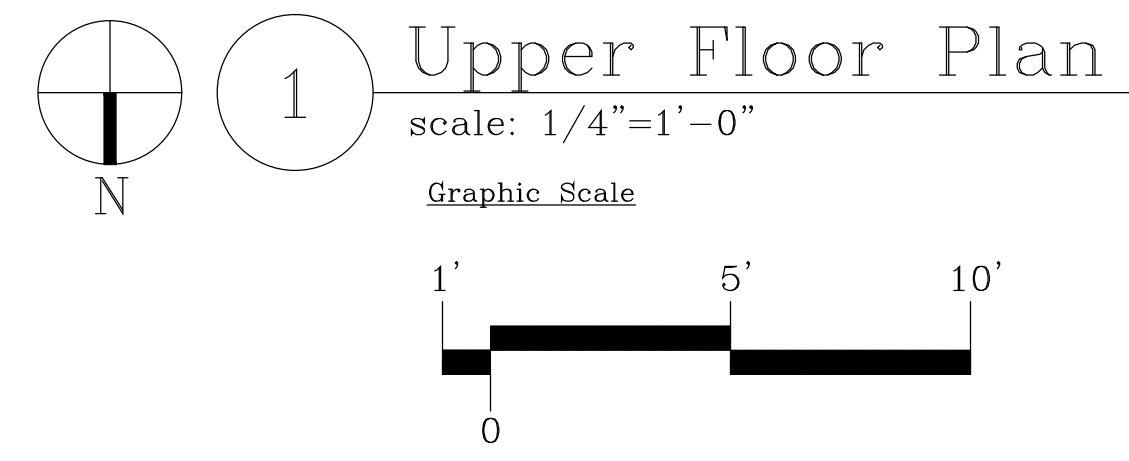
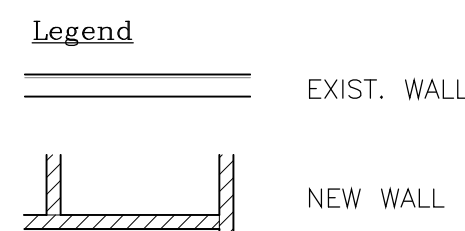
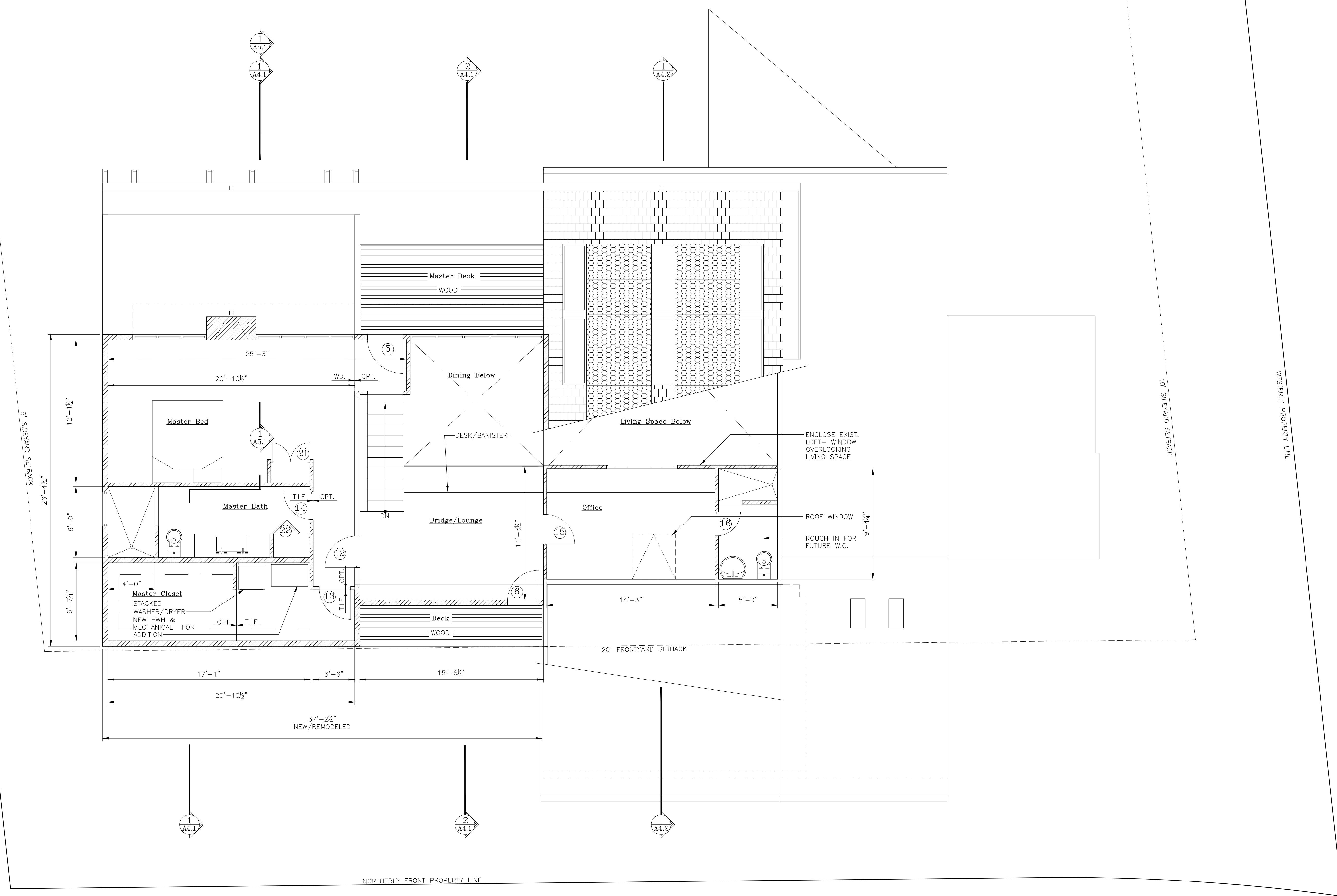


Date: 7/17/18 Permit Intake

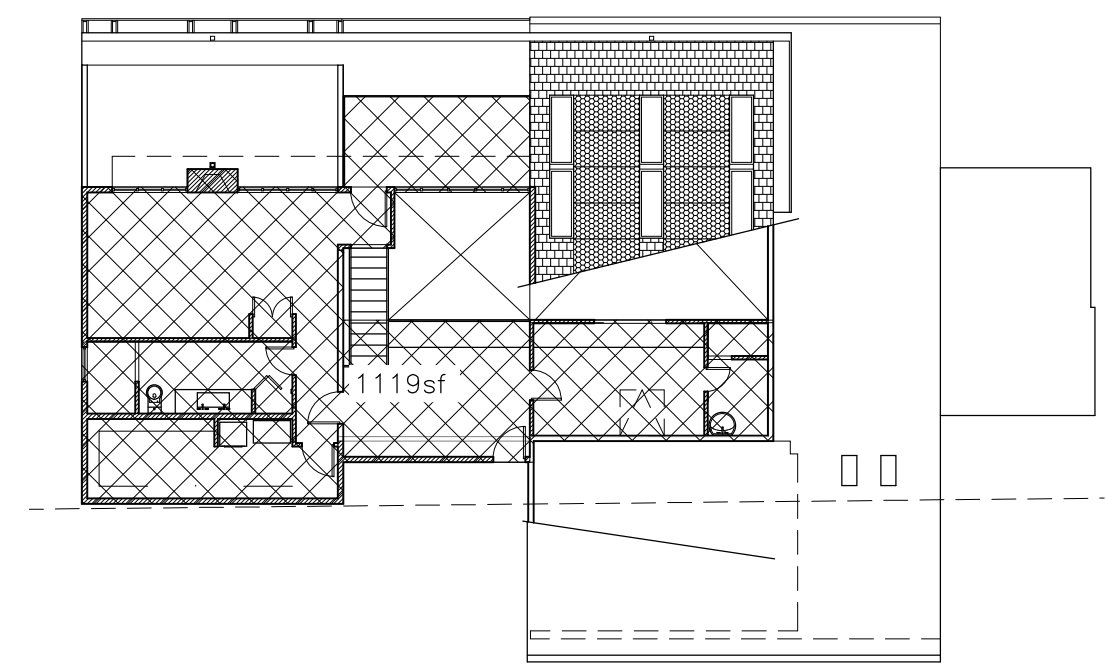
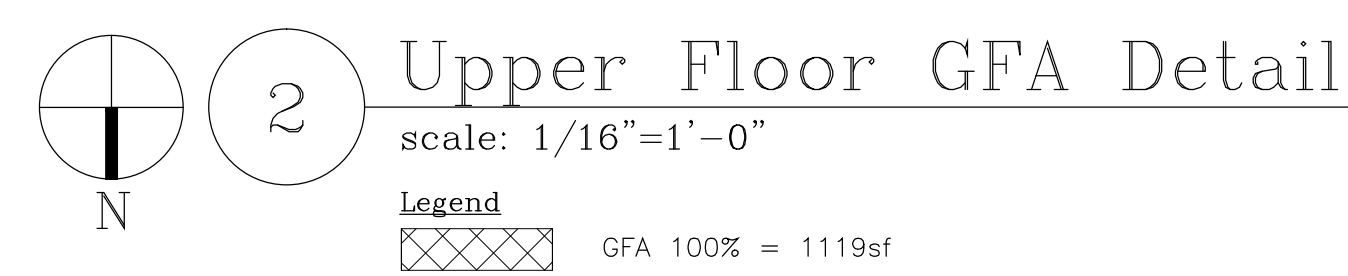
Scale:
Sheet:

Main Floor Plan
A2.1

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Mercer Island, WA 98040



- NOTES:**
1. KITCHEN FAUCETS MAXIMUM FLOW RATE 1.75 GAL./MIN. CREDIT 5_o
 2. NEW LAVATORY SINK FAUCETS MAXIMUM FLOW RATE 1.0 GAL./MIN. CREDIT 5_o
 3. NEW GAS WATER HEATER WITH A MINIMUM EF OF 0.74 CREDIT 1_o
 4. DUCTLESS MINI SPLIT HEAT PUMP WITH ZONAL CONTROL TO PROVIDE PRIMARY HEATING SOURCE. CREDIT 3_d

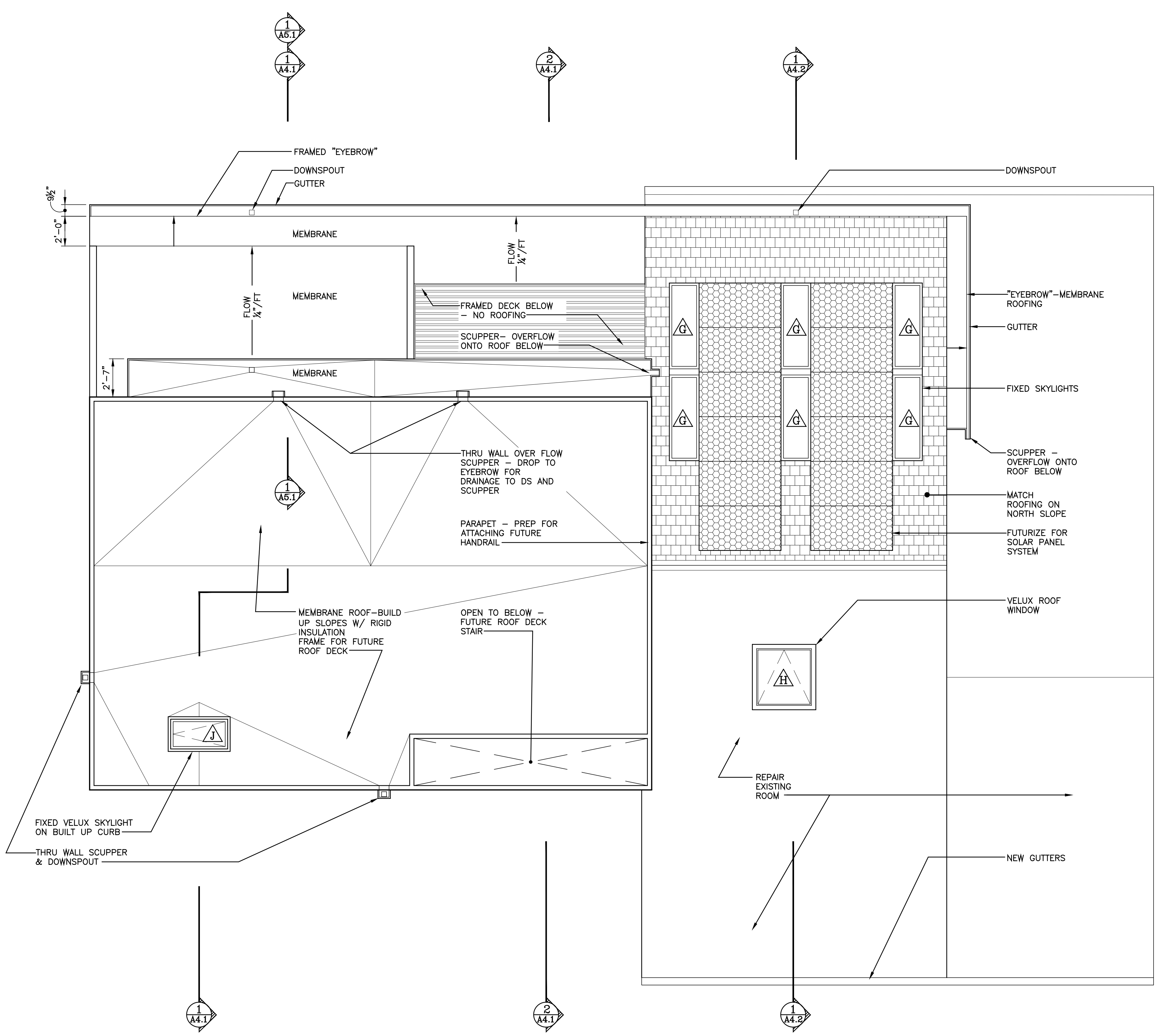


Date:
7/17/18 Permit Intake

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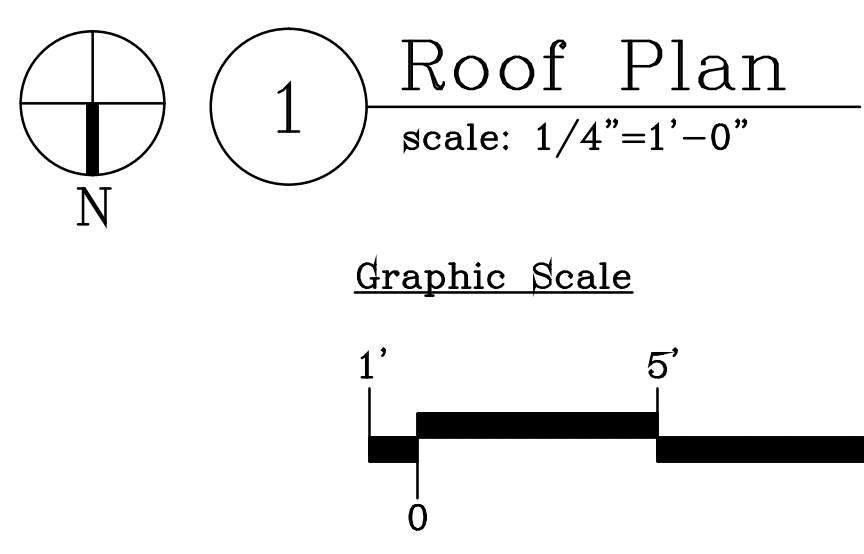
Upper Floor Plan
A2.2

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4207 West Mercer Way
Mercer Island, WA 98040



1 Roof Plan
scale: 1/4"=1'-0"

Graphic Scale
0 1' 5' 10'



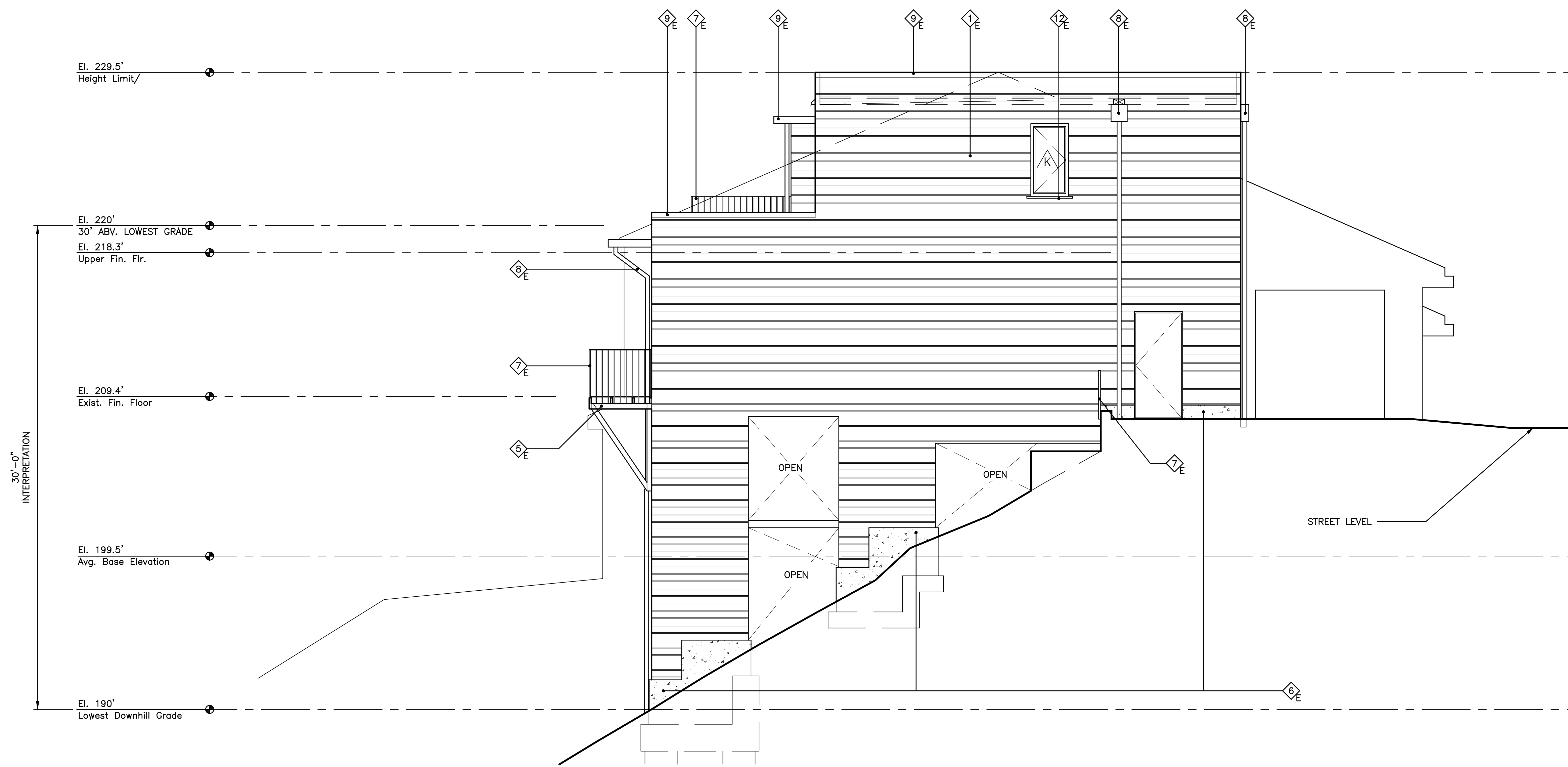
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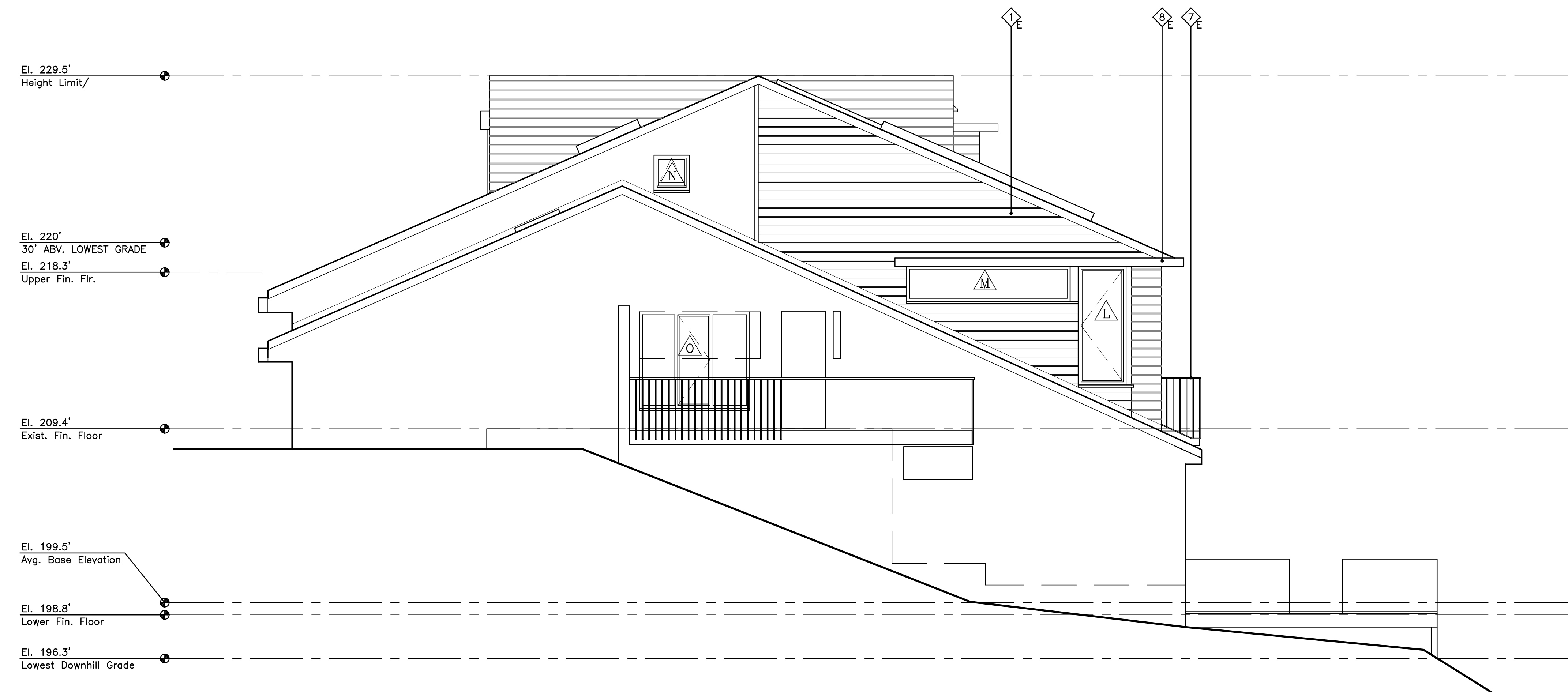
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EXTERIOR MATERIALS LEGEND

- 1 NEW HORIZONTAL SHIPLAP WD SIDING - MATCH FINISH TO EXIST. SHINGLE
- 2 NEW VERTICAL WD SIDING
- 3 EXISTING WD SIDING
- 4 ASPHALT ROOF SHINGLES - MATCH EXIST.
- 5 NEW WOOD DECK & STRUCTURE / WINDOW WASHING SCAFFOLDING - PROVIDE FLASHING
- 6 NEW CAST IN PLACE CONCRETE
- 7 NEW METAL HANDRAIL - POWDER COATED FINISH - CLR. BLACK
- 8 NEW METAL GUTTERS & DOWNSPOUTS - COLOR BLACK
- 9 NEW METAL TRIM & FLASHING - COLOR BLACK
- 10 FUTURE PHOTO VOLTAIC ARRAY (PVA)
- 11 NEW WD SCREEN - MATCH ADJACENT SIDING
- 12 NEW WD SILL / TRIM



1 East Elevation
scale: 1/4"=1'-0"



2 West Elevation
scale: 1/4"=1'-0"

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Mercer Island, WA 98040

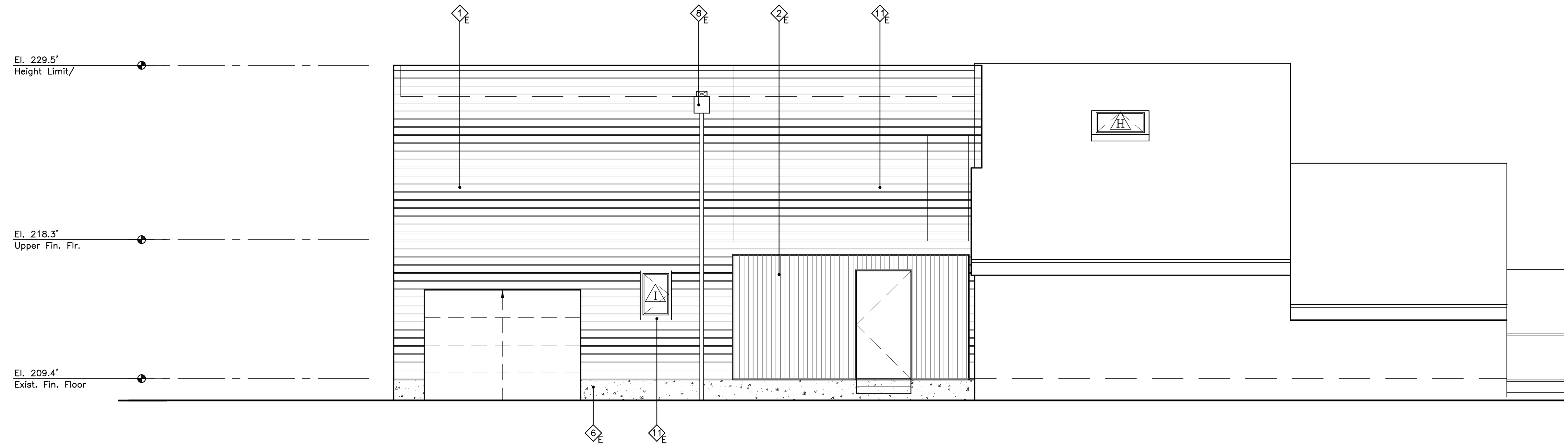
Date:
7/17/18 Permit Intake

Scale:

Sheet:

Elevations

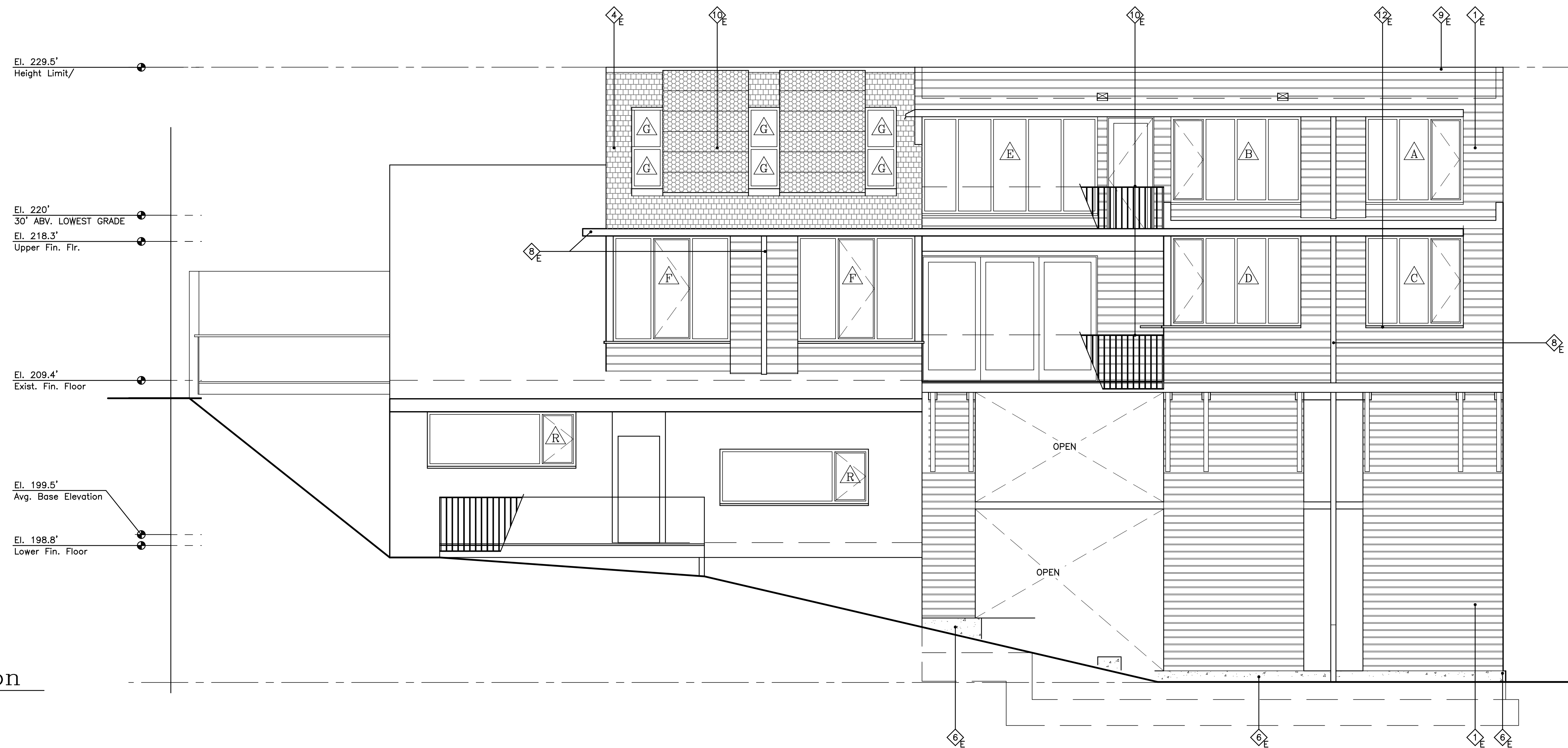
A3.1



1 North Elevation
scale: 1/4"=1'-0"

EXTERIOR MATERIALS LEGEND

- 1E NEW HORIZONTAL SHIPLAP WD SIDING - MATCH FINISH TO EXIST. SHINGLE
- 2E NEW VERTICAL WD SIDING
- 3E EXISTING WD SIDING
- 4E ASPHALT ROOF SHINGLES - MATCH EXIST.
- 5E NEW WOOD DECK & STRUCTURE / WINDOW WASHING SCAFFOLDING - PROVIDE FLASHING
- 6E NEW CAST IN PLACE CONCRETE
- 7E NEW METAL HANDRAIL - POWDER COATED FINISH - CLR. BLACK
- 8E NEW METAL GUTTERS & DOWNSPOUTS - COLOR BLACK
- 9E NEW METAL TRIM & FLASHING - COLOR BLACK
- 10E FUTURE PHOTO VOLTAIC ARRAY (PVA)
- 11E NEW WD SCREEN - MATCH ADJACENT SIDING
- 12E NEW WD SILL / TRIM



2 South Elevation
scale: 1/4"=1'-0"

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Mercer Island, WA 98040

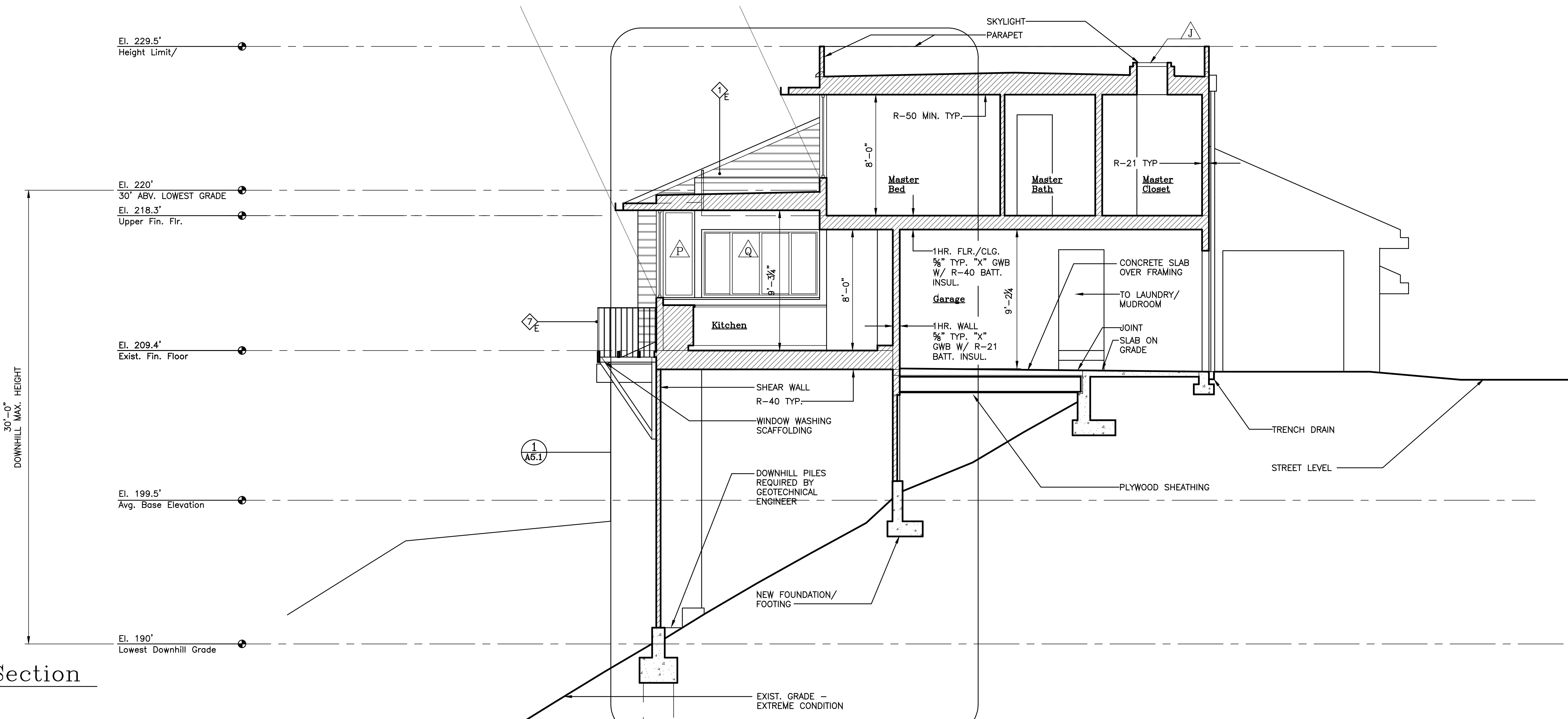
Date:
7/17/18 Permit Intake

Scale:

Sheet:

Elevations

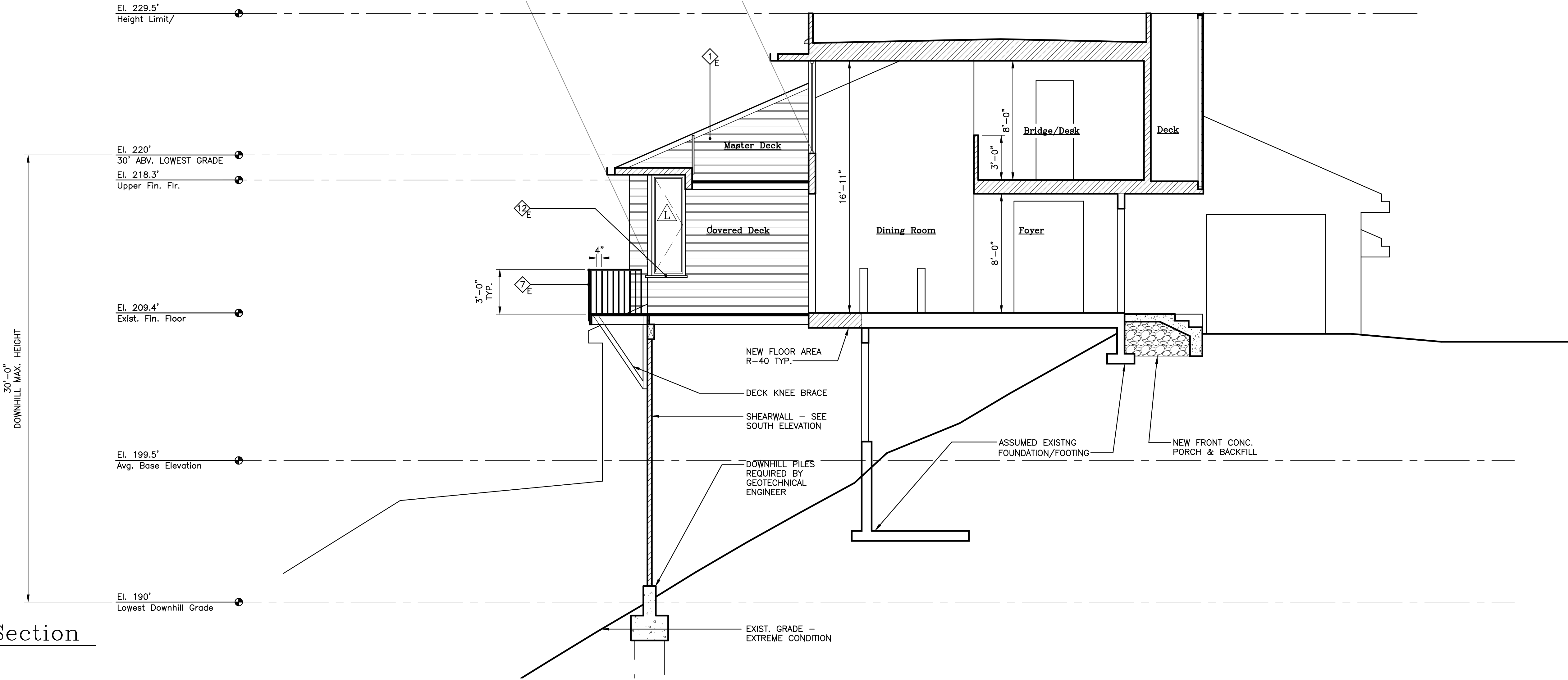
A3.2



1 Building Section
scale: 1/4"=1'-0"

EXTERIOR MATERIALS LEGEND

- 1 NEW HORIZONTAL SHIPLAP WD SIDING - MATCH FINISH TO EXIST. SHINGLE
- 2 NEW VERTICAL WD SIDING
- 3 EXISTING WD SIDING
- 4 ASPHALT ROOF SHINGLES - MATCH EXIST.
- 5 NEW WOOD DECK & STRUCTURE / WINDOW WASHING SCAFFOLDING - PROVIDE FLASHING
- 6 NEW CAST IN PLACE CONCRETE
- 7 NEW METAL HANDRAIL - POWDER COATED FINISH - CLR. BLACK
- 8 NEW METAL GUTTERS & DOWNSPOUTS - COLOR BLACK
- 9 NEW METAL TRIM & FLASHING - COLOR BLACK
- 10 FUTURE PHOTO VOLTAIC ARRAY (PVA)
- 11 NEW WD SCREEN - MATCH ADJACENT SIDING
- 12 NEW WD SILL / TRIM

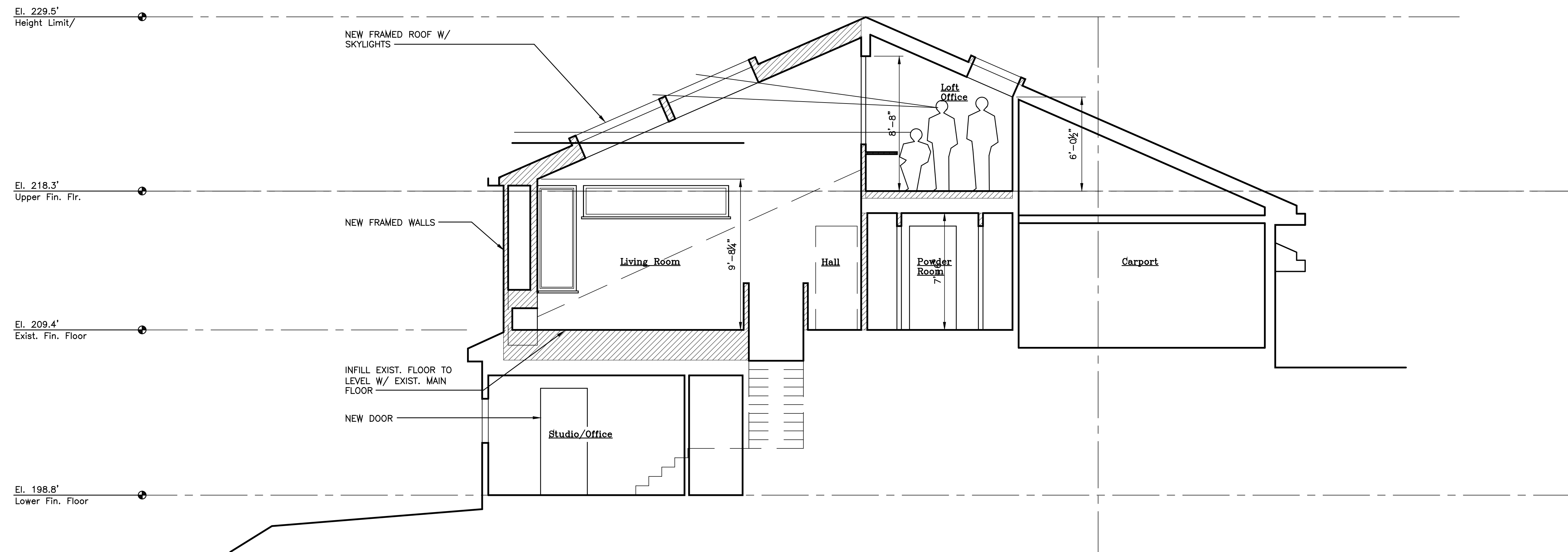


2 Building Section
scale: 1/4"=1'-0"

Date: 7/17/18 Permit Intake

Scale:

Sheet:



1 Building Section
scale: 1/4"=1'-0"

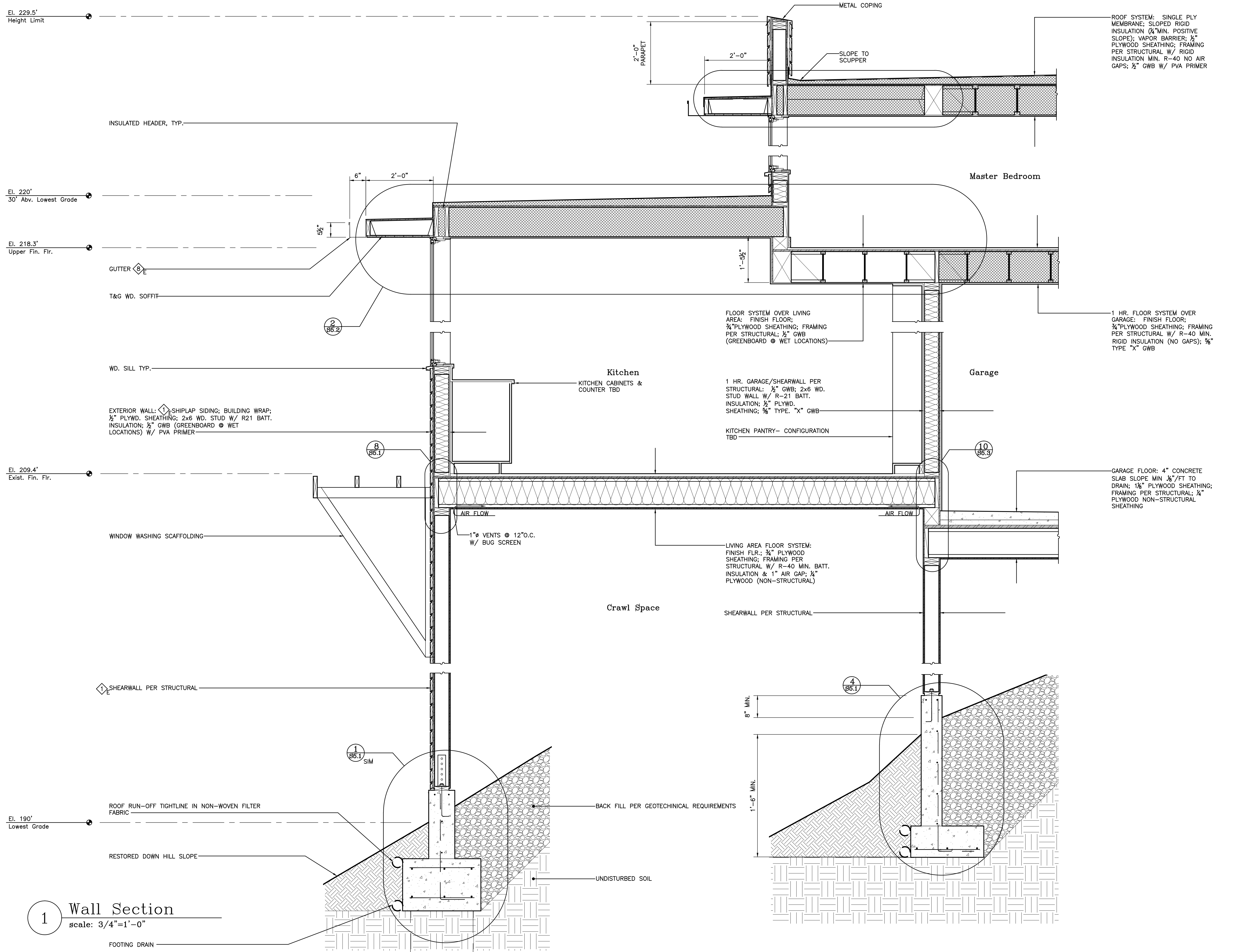
VANEY / SHINDE
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4207 West Mercer Way
Mercer Island, WA 98040

Date:
7/17/18 Permit Intake

Scale:

Sheet:

Bldg
Sections
A4.2



VANEY / SHINDE
Remodel/Addition
4207 West Mercer Way
Mercer Island, WA 98040

Date:
7/17/18 Permit Intake

Scale:
Sheet:

Wall
Section
A5.1

Window Schedule

TAG	UNIT WINDOW SIZE		UNIT AREA	QTY.	TOTAL window area	MAX U-VALUE	UA VALUE	SILL HEIGHT	TYPE OPERATION	FRAME / FINISH	GLASS		MANUF.	MODEL	NOTES
	Note 1										square ft.	NOTES 6/5			
	width	height													
A	6'-3"	x 5'-6"	34.4 SQ. FT.	1	34.4 SQ. FT.	0.2400	8.2 SQ. FT.	2'-6"	CASE/FIX	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY		
B	8'-4"	x 5'-6"	45.8 SQ. FT.	1	45.8 SQ. FT.	0.2400	11.0 SQ. FT.	2'-6"	CASE/FIX	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY	TG AT FRAME ADJACENT TO DOOR	
C	6'-3"	x 5'-9"	35.9 SQ. FT.	1	35.9 SQ. FT.	0.2400	8.6 SQ. FT.	3'-6"	CASE/FIX	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY		
D	8'-4"	x 5'-9"	47.9 SQ. FT.	1	47.9 SQ. FT.	0.2400	11.5 SQ. FT.	3'-6"	CASE/FIX	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY		
E	11'-3"	x 6'-2"	69.4 SQ. FT.	1	69.4 SQ. FT.	0.2200	15.3 SQ. FT.	10'-8"	FIX	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY	MATCH SILL HEIGHT TO MASTER BEDROOM	
F	7'-6"	x 6'-9"	50.6 SQ. FT.	2	101.3 SQ. FT.	0.2400	24.3 SQ. FT.	2'-6"	CASE/FIX	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY	COORD. W/ ADJ. WINDOWS / MOTORIZED OPERATION	
G	1'-9½"	x 5'-10¾"	34.2 SQ. FT.	6	205.4 SQ. FT.	0.44	90.4 SQ. FT.	ROOF	FIX	ALUM/WD/PT.	DBL/LO-E/ARGON/TG	VELUX	FS C12	GANG TOGETHER AS CONFIGURED IN ROOF PLAN	
H	4'-4 3/4"	x 4'-7"	20.2 SQ. FT.	1	20.2 SQ. FT.	0.4200	8.5 SQ. FT.	ROOF	TOP HINGE	ALUM/WD/PT	DBL/LO-E/ARGON/TG	VELUX	GPU-UK08		
I	2'-0"	x 3'-0"	6.0 SQ. FT.	1	6.0 SQ. FT.	0.2400	1.4 SQ. FT.	3'-11"	AWN	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY		
J	1'-10½"	x 3'-10½"	37.5 SQ. FT.	1	37.5 SQ. FT.	0.5300	19.9 SQ. FT.	ROOF	MAN. OPER.	ALUM/WD/PT	DBL/LO-E/ARGON/TG	VELUX	VCM 2246	CRANK	
K	2'-4"	x 4'-6"	10.5 SQ. FT.	1	10.5 SQ. FT.	0.2400	2.5 SQ. FT.	3'-6"	CASE	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY		
L	2'-0"	x 6'-9"	13.5 SQ. FT.	2	27.0 SQ. FT.	0.2400	6.5 SQ. FT.	2'-6"	CASE	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY	EGRESS	
M	9'-3"	x 2'-0"	18.5 SQ. FT.	1	18.5 SQ. FT.	0.2200	4.1 SQ. FT.	7'-3"	FIX	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY		
N	2'-0"	x 2'-0"	4.0 SQ. FT.	1	4.0 SQ. FT.	0.2400	1.0 SQ. FT.	4'-8"	AWN	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY		
O	6'-3"	x 5'-0"	31.3 SQ. FT.	1	31.3 SQ. FT.	0.2400	7.5 SQ. FT.	1'-6"	FIX/CASE	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY	REPLACE EXIST WINDOW/LOWER SILL	
P	2'-0"	x 5'-9"	11.5 SQ. FT.	1	11.5 SQ. FT.	0.2400	2.8 SQ. FT.	3'-6"	CASE	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY		
Q	7'-9"	x 4'-6"	34.9 SQ. FT.	1	34.9 SQ. FT.	0.2500	8.7 SQ. FT.	3'-6"	SLIDE	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY		
R	9'-6½"	x 3'-6"	40.4 SQ. FT.	2	80.8 SQ. FT.	0.2500	20.2 SQ. FT.	2'-6"	FIX/CASE	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY	EGRESS (NOTE7)/REPLACE EXIST WINDOW/LOWER SILL	

Exterior Door to Conditioned Space

TAG	PANEL SIZE		UNIT AREA	QTY.	TOTAL door area	MAX U-VALUE	UA VALUE	Thickness	TYPE	FRAME/FINISH	GLASS	MANUF.	MODEL	NOTES
	width	height												
1	3'-6"	x 8'-0"	28.0 SQ. FT.	1	28.0 SQ. FT.	.27	7.6 SQ. FT.	0'-1 3/4"	SC/SLAB	WD/STAIN	NA	TBD		DEADBOLT
2	3'-9"	x 8'-0"	30.0 SQ. FT.	3	90.0 SQ. FT.	.24	21.6 SQ. FT.	0'-1 3/4"	BI-PASS/STORE	FIBERGLASS/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	ULTIMATE LIFT & SLIDE	MULTI-POINT LOCK SYSTEM/FLUSH PULLS
3	3'-0"	x 6'-8"	20.0 SQ. FT.	1	20.0 SQ. FT.	.27	5.4 SQ. FT.	0'-1 3/4"	SC/20 MIN/FLUSH	STEEL/PAINTED	NA	TBD		DEADBOLT/SELF-CLOSING HARDWARE
4	3'-0"	x 8'-0"	24.0 SQ. FT.	1	24.0 SQ. FT.	.27	6.5 SQ. FT.	0'-1 3/4"	STORE	FIBERGLASS & WOOD/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY	MATCH WINDOWS/MULTI-POINT LOCKING SYSTEM
5	3'-0"	x 8'-0"	24.0 SQ. FT.	1	24.0 SQ. FT.	.27	6.5 SQ. FT.	0'-1 3/4"	STORE	FIBERGLASS & WOOD/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY	MATCH WINDOWS/MULTI-POINT LOCKING SYSTEM
6	2'-8"	x 8'-0"	21.3 SQ. FT.	1	21.3 SQ. FT.	.27	5.8 SQ. FT.	0'-1 3/4"	STORE	FIBERGLASS & WOOD/FACTORY FINISH	DBL/LO-E/ARGON	MARVIN	INTEGRITY	MATCH WINDOWS/MULTI-POINT LOCKING SYSTEM
7	3'-0"	x 6'-8"	20.0 SQ. FT.	1	20.0 SQ. FT.	NA	NA	0'-1 3/4"	SC/SLAB	WD/STAIN	NA	TBD		DEADBOLT
25	10'-0"	x 7'-0"	70.0 SQ. FT.	1	70.0 SQ. FT.	NA	NA	0'-1 3/4"	OVERHEAD SECTIONAL	WD / STAIN	NA	TBD		OVERHEAD TRACK/ELEC. MOTOR/ PANEL TO MATCH SIDING
AREAS OF WINDOWS & DOORS IMPACTING UA:			WINDOW/EXT. DOOR AREA		1119.6 SQ. FT.	TOTAL UA	305.6 SQ. FT.							

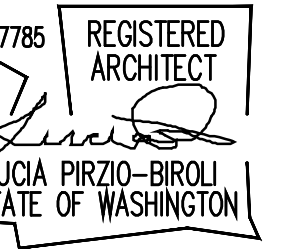
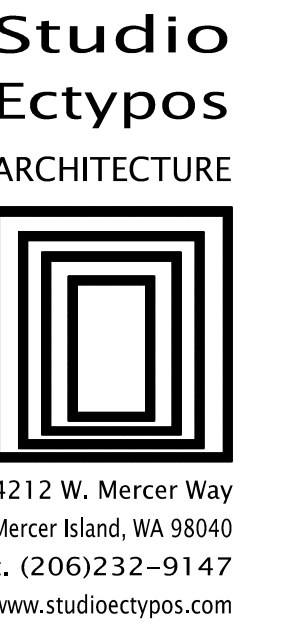
Interior Door Schedule & Exterior Doors at Unheated Spaces

TAG	PANEL SIZE		Panel #	UNIT AREA	Thickness	TYPE	MATERIAL/ FINISH	HARDWARE	MANUF.	NOTES
	width	height								
8	3'-0"	x 6'-8"	1	20.0 SQ. FT.	0'-1 3/8"	SC/SLAB	BIRCH/CLR	LEVER	TBD	
9	3'-0"	x 6'-8"	1	20.0 SQ. FT.	0'-1 3/8"	SC/SLAB	BIRCH/CLR	LEVER	TBD	
10	3'-0"	x 6'-8"	1	20.0 SQ. FT.	0'-1 3/8"	SC/SLAB	BIRCH/CLR	LEVER/PRIVACY	TBD	
11	4'-2"	x 8'-0"	1	33.3 SQ. FT.	TBD	BARN DOOR	TBD	SURFACE MOUNTED TRACK	TBD	
12	2'-6"	x 6'-8"	1	16.7 SQ. FT.	0'-1 3/8"	SC/SLAB	BIRCH/CLR	LEVER/PRIVACY	TBD	
13	2'-8"	x 6'-8"	1	17.8 SQ. FT.	0'-1 3/8"	SC/SLAB	BIRCH/CLR	LEVER	TBD	
14	2'-4"	x 6'-8"	1	15.6 SQ. FT.	0'-1 3/8"	SC/SLAB	BIRCH/CLR	LEVER/PRIVACY	TBD	
15	2'-6"	x 6'-8"	1	16.7 SQ. FT.	0'-1 3/8"	SC/SLAB	BIRCH/CLR	LEVER/PRIVACY	TBD	
16	2'-0"	x 6'-8"	1	13.3 SQ. FT.	0'-1 3/8"	SC/SLAB	BIRCH/CLR	LEVER/PRIVACY	TBD	
17	4'-6"	x 7'-0"	1	31.5 SQ. FT.	TBD	BARN DOOR	TBD	SURFACE MOUNTED TRACK	TBD	
18	2'-0"	x 6'-8"	2	13.3 SQ. FT.	0'-1 3/8"	HC/SLAB	BIRCH/CLR	ROLLER CATCH/PULL	TBD	
19	2'-0"	x 6'-8"	2	13.3 SQ. FT.	0'-1 3/8"	HC/SLAB	BIRCH/CLR	ROLLER CATCH/PULL	TBD	
20	2'-0"	x 6'-8"	2	13.3 SQ. FT.	0'-1 3/8"	HC/SLAB	BIRCH/CLR	ROLLER CATCH/PULL	TBD	
21	2'-0"	x 6'-8"	2	13.3 SQ. FT.	0'-1 3/8"	HC/SLAB	BIRCH/CLR	ROLLER CATCH/PULL	TBD	
22	1'-6"	x 6'-8"	2	10.0 SQ. FT.	0'-1 3/8"	HC/SLAB/BI-FOLD	BIRCH/CLR	PULL/TRACK	TBD	
23	2'-6"	x 6'-8"	2	16.7 SQ. FT.	0'-1 3/8"	HC/SLAB/BI-FOLD	BIRCH/CLR	PULL/TRACK	TBD	
24	6'-3"	x 7'-0"	2	43.8 SQ. FT.	TBD	BARN DOOR	TBD	SURFACE MOUNTED TRACK	TBD	CHALKBOARD PAINT

INTERIOR DOOR NOTES:
 1. (3) HINGES MINIMUM
 2. HANDLE LEVER UNO
 3. UNDERCUT DOORS TO INHABITABLE SPACES AS NECESSARY TO MEET WHOLE HOUSE VENTILATION REQUIREMENTS

INTERIOR DOOR ABBREVIATIONS
 CLR CLEAR
 HC HOLLOW CORE
 SC SOLID CORE
 SMS SURFACE MOUNTED SLIDING
 TBD TO BE DETERMINED

VANEY / SHINDE
 Remodel/Addition
 4207 West Mercer Way
 Mercer Island, WA 98040



WINDOW & EXTERIOR DOOR NOTES:
 1. CONTRACTOR SHALL MEASURE ACTUAL FRAMED OPENINGS PRIOR TO ORDERING UNITS. ROUGH OPENING PER MANUFACTURER'S REQUIREMENTS.
 2. (3) MINIMUM HEAVY DUTY CONCEALED HINGES MIN. AT ALL EXTERIOR DOORS
 3. WINDOW MANUFACTURER: MARVIN EXCEPT AS NOTED OTHERWISE
 4. WINDOW MANUFACTURER TO VERIFY OPERATION AND WIDTH OPENING - COORDINATE WITH ARCHITECT WHERE DIFFERS FROM DRAWINGS
 5. TEMPERED GLASS: WITHIN TWO FEET OF ALL EXTERIOR DOORS, AND WITHIN 18" OF FLOOR AND OTHER HAZARDOUS LOCATIONS AS IDENTIFIED IN IRC R308.4
 6. GLASS - LO-E3/LOW ERS / ARGON FILLED AT ALL MARVIN WINDOWS AND EXTERIOR DOORS
 7. EGRESS WINDOWS AT SLEEPING ROOMS SHALL MEET IRC R310

WINDOW & EXTERIOR DOOR ABBREVIATIONS

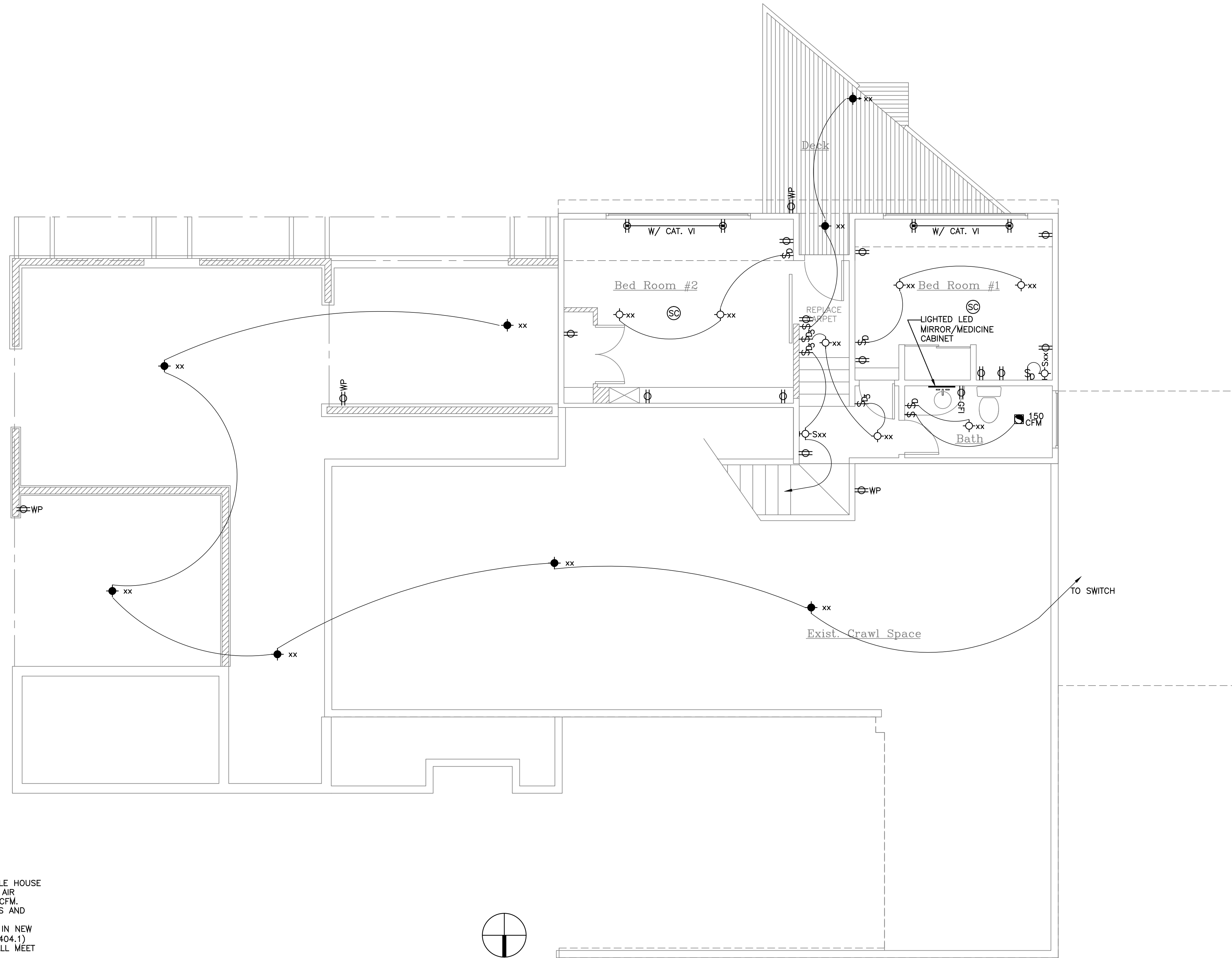
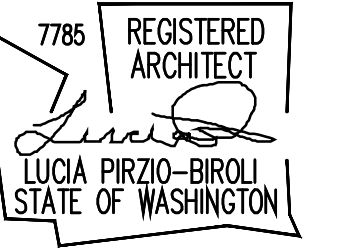
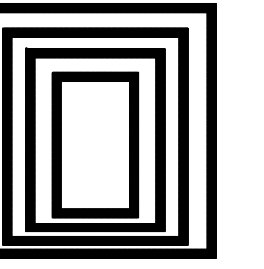
AWN AWNING
 CASE CASEMENT
 DBL DOUBLE GLAZING
 FIX FIXED
 LAM LAMINATED
 LO-E LOW-EMISSIVITY
 MIN MINUTE
 OBS OBSCURE
 R.O. ROUGH OPENING
 SC SOLID CORE
 SLD SLIDING
 SL SKYLIGHT
 STORE STOREFRONT
 TBD TO BE DETERMINED
 TG TEMPERED GLASS
 TRPL TRIPLE
 UA U-VALUE AREA
 WD WOOD

Date: 7/17/18 Permit Intake

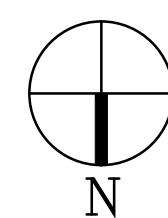
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Window/Door
Schedules
A9.1



- Note:**
1. WHOLE HOUSE VENTILATION SHALL MEET IRC M1507.3.4 WHOLE HOUSE VENTILATION USING INTERMITTENT EXHAUST FANS AND FRESH AIR INLETS. A MINIMUM WHOLE HOUSE VENTILATION RATE OF 90CFM. ALL HABITABLE ROOMS HAVE OPERABLE WINDOWS THAT MEETS AND EXCEEDS REQUIREMENTS OF IRC 1507.3.4.4.
 2. A MINIMUM OF 75% OF NEW PERMANENTLY INSTALLED LAMPS IN NEW LIGHTING FIXTURES WILL BE HIGH EFFICACY (WAC 51-11R-R404.1)
 3. EXHAUST HOOD SYSTEMS GREATER THAN A CFM OF 400 SHALL MEET THE REQUIREMENTS OF IRC M1503.4 FOR MAKE UP AIR
 4. PROVIDE Ⓞ KITCHEN AND LAUNDRY OUTLETS ACCORDING TO APPLIANCES MANUFACTURER SPECIFICATIONS
 5. CONTRACTOR TO COORDINATE (2) WALK-THROUGHS PRIOR TO LOCATING FIXTURES, OUTLETS AND SWITCHES AND PRIOR TO FINALIZATION



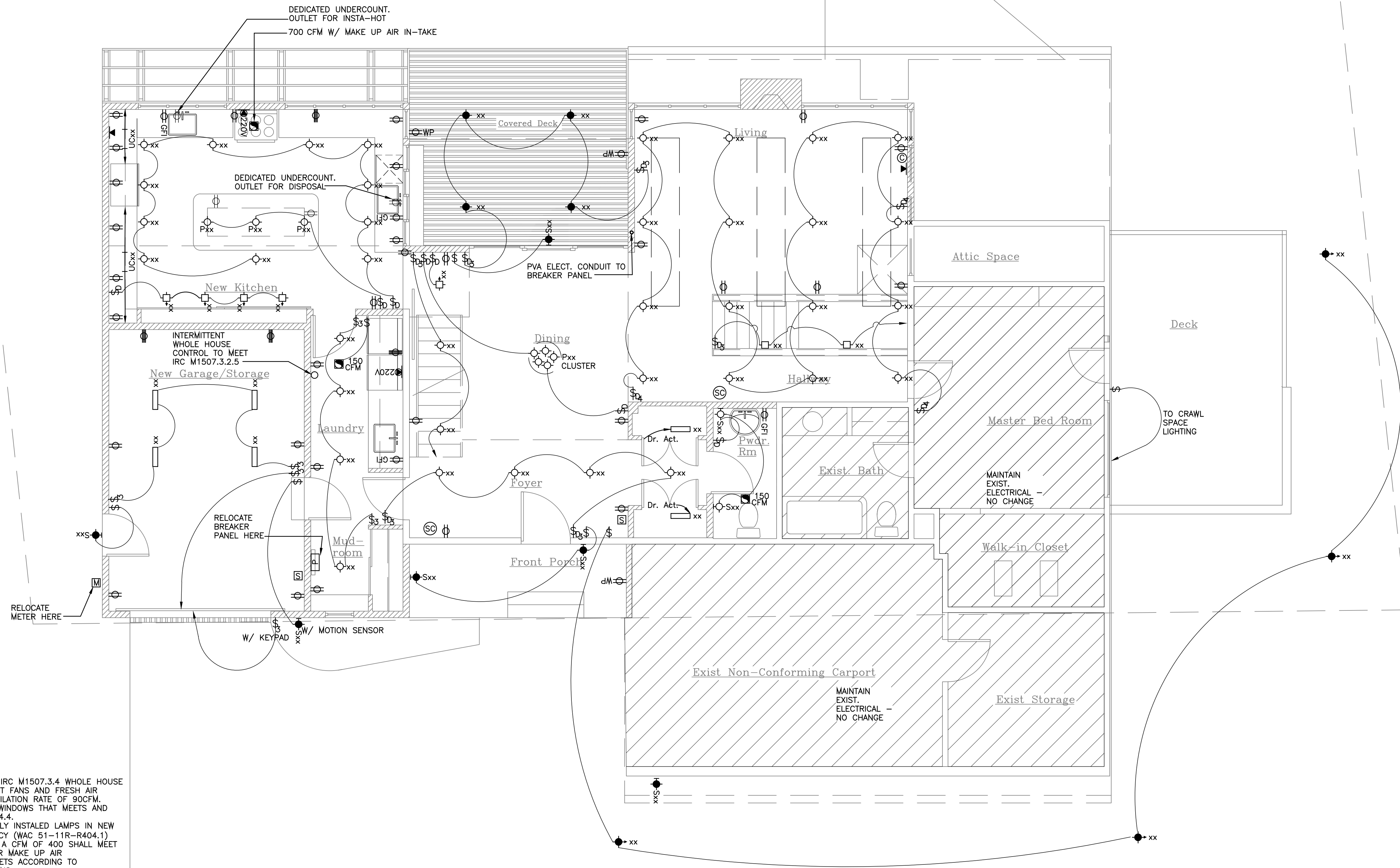
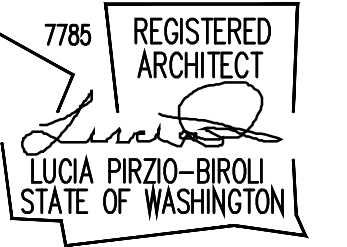
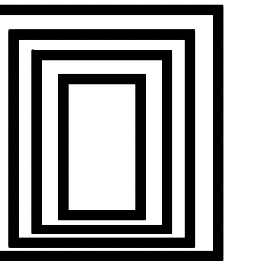
1 Lower Floor Plan
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VANEY / SHINDE
Remodel/Addition
4207 West Mercer Way
Mercer Island, WA 98040

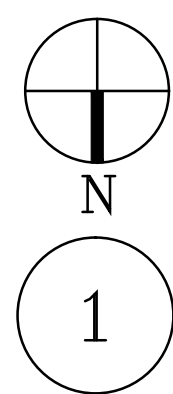
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Electrical
Plan
E2.0



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1 Main Floor Plan

scale: 1/4"=1'-0"

VANEY / SHINDE
Remodel/Addition
4207 West Mercer Way
Mercer Island, WA 98040





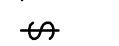

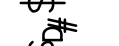
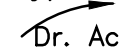
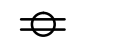
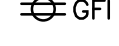


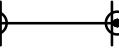
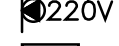
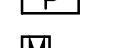
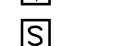
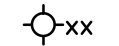
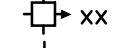
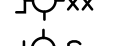

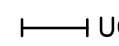
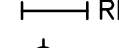
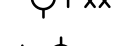

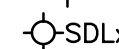
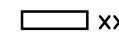
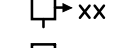

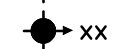










Date: 7/17/18 Permit Intake

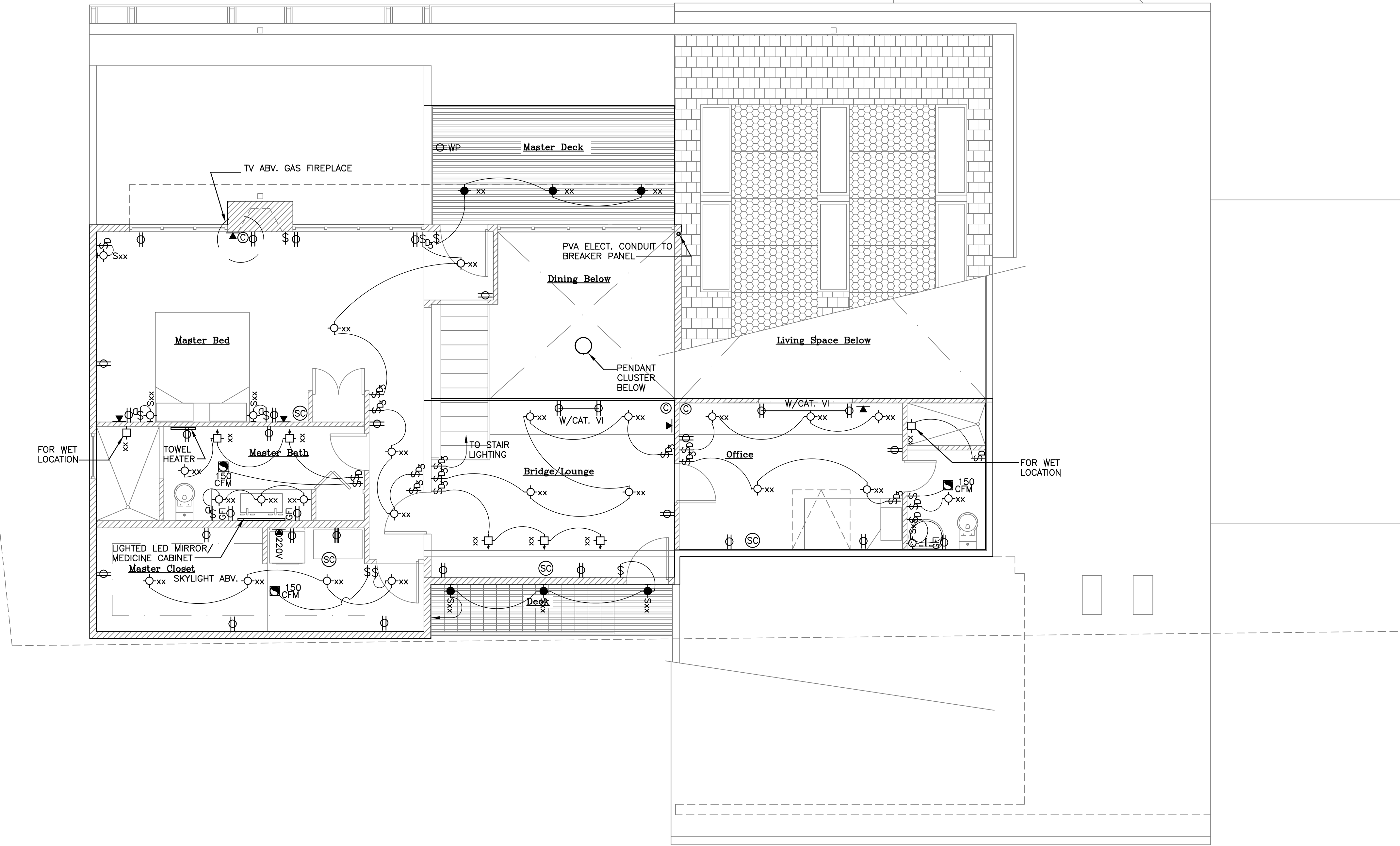
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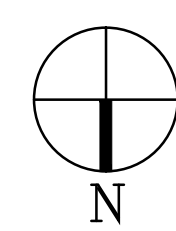
Electrical
Plan
E2.1

Power and Lighting Legend

	Recessed Ceiling Mounted Exhaust Fan
	Recessed Ceiling Mounted Smoke Detector/Carbon Monoxide
	Cable Connection
	Floor Mounted Cable Connection
	Dedicated Data Outlet (CatV)
	Switch
	Switch, Multi-way
	Switch, Dimmer
	Switch, Dimmer/Multi-way
	Switch, Door Activated
	Duplex Outlet
	Ground Fault Circuit Interrupter
	Exterior Duplex Outlet
	Four-plex Outlet
	Floor Mounted Duplex Outlet
	Strip Outlets
	220 V Outlet
	Breaker Panel
	Meter
	Security Panel
	Recessed Ceiling Mounted LED Downlight
	Recessed Ceiling Mounted LED Wallwasher
	Surface Ceiling Mounted LED Downlight
	Surface Mounted Wall LED Sconce
	Surface Mounted Track LED Lighting
	Surface Mounted Undercabinet Strip LED Lighting
	Ribbon LED linear light
	Pendant Fixture
	Cluster Pendant Fixture
	Surface Mounted Downlight
	Surface Mounted LED Batten Fixture
	Recessed Mounted Wall LED Washer
	Recessed Wall LED Light
	Exterior Recessed Ceiling Mounted LED Downlight
	Exterior Ground LED Light
	Exterior Surface Mounted Wall LED Sconce
	Exterior Recessed Wall LED Step Light
	Exterior Direct Burial Uplight
	Pool Light



- Note:**
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1 Upper Floor Plan
scale: 1/4"=1'-0"

VANEY / SHINDE
Remodel/Addition
4207 West Mercer Way
Mercer Island, WA 98040

Date:
7/17/18 Permit Intake

Scale:
Sheet:

GENERAL RESIDENTIAL STRUCTURAL NOTES

(The following apply unless shown otherwise on the plans)

CRITERIA

1. ALL MATERIALS, WORKMANSHIP, DESIGN, AND CONSTRUCTION SHALL CONFORM TO THE DRAWINGS, SPECIFICATIONS, AND THE 2015 INTERNATIONAL BUILDING CODE (IBC).

2. DESIGN LOADING CRITERIA

SNOW LOAD	25 PSF
FLOOR LIVE LOAD (RESIDENTIAL)	40 PSF
BALCONY LIVE LOAD	60 PSF
WIND (MAIN WIND FORCE RESISTING SYSTEM)	Vult = 110 MPH Vasd = 85 MPH RISK CATEGORY = II Kzt = 1.5 EXPOSURE C, Gcpl = 0.18
EARTHQUAKE (EQUIVALENT LATERAL FORCE PROCEDURE) (BASED ON 2008 USGS HAZARD DATA)	Ss=1.380, Sds =0.920 S1=0.631, Sd1 =0.631 Ie=1.0, SITE CLASS = D SEISMIC DESIGN CATEGORY= D RISK CATEGORY = I R = 6.5 FOR WOOD FRAMED SHEARWALL LATERAL SYSTEM OVER STRENGTH FACTOR, oo =5.0 REDUNDANCY FACTOR =1.0 Cs = 0.142, BASE SHEAR = 28.0 KIPS

SEE PLANS FOR ADDITIONAL LOADING CRITERIA

3. STRUCTURAL DRAWINGS SHALL BE USED IN CONJUNCTION WITH ARCHITECTURAL DRAWINGS FOR BIDDING AND CONSTRUCTION. CONTRACTOR SHALL VERIFY DIMENSIONS AND CONDITIONS FOR COMPATIBILITY AND SHALL NOTIFY ARCHITECT OF ANY DISCREPANCIES PRIOR TO CONSTRUCTION. ALL DIMENSIONS SHOWN ON THE STRUCTURAL DRAWINGS ARE INTENDED FOR REFERENCE ONLY. REFER TO ARCHITECTURAL DRAWINGS FOR ALL DIMENSIONS.
4. CONTRACTOR SHALL VERIFY ALL EXISTING DIMENSIONS, MEMBER SIZES, AND CONDITIONS PRIOR TO COMMENCING ANY WORK. ALL DIMENSIONS OF EXISTING CONSTRUCTION SHOWN ON THE STRUCTURAL DRAWINGS ARE INTENDED AS GUIDELINES ONLY AND MUST BE VERIFIED.
5. CONTRACTOR SHALL PROVIDE TEMPORARY BRACING FOR THE STRUCTURE AND STRUCTURAL COMPONENTS UNTIL ALL FINAL CONNECTIONS HAVE BEEN COMPLETED IN ACCORDANCE WITH THE PLANS.
6. CONTRACTOR SHALL BE RESPONSIBLE FOR ALL SAFETY PRECAUTIONS AND THE METHODS, TECHNIQUES, SEQUENCES, OR PROCEDURES REQUIRED TO PERFORM HIS WORK. THE STRUCTURAL ENGINEER HAS NO OVERALL SUPERVISORY AUTHORITY OR ACTUAL AND/OR DIRECT RESPONSIBILITY FOR THE SPECIFIC WORKING CONDITIONS AT THE SITE AND/OR FOR ANY HAZARDS RESULTING FROM THE ACTIONS OF ANY TRADE CONTRACTOR. THE STRUCTURAL ENGINEER HAS NO DUTY TO INSPECT, SUPERVISE, NOTE, CORRECT, OR REPORT ANY HEALTH OR SAFETY DEFICIENCIES OF THE OWNER, CONTRACTORS, OR OTHER ENTITIES OR PERSONS AT THE PROJECT SITE.
7. CONTRACTOR-INITIATED CHANGES SHALL BE SUBMITTED IN WRITING TO THE ARCHITECT AND STRUCTURAL ENGINEER FOR APPROVAL PRIOR TO FABRICATION OR CONSTRUCTION. CHANGES SHOWN ON SHOP DRAWINGS ONLY WILL NOT SATISFY THIS REQUIREMENT.
8. DRAWINGS INDICATE GENERAL AND TYPICAL DETAILS OF CONSTRUCTION. WHERE CONDITIONS ARE NOT SPECIFICALLY INDICATED, BUT ARE OF SIMILAR CHARACTER TO DETAILS SHOWN, SIMILAR DETAILS OF CONSTRUCTION SHALL BE USED, SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND THE STRUCTURAL ENGINEER.
9. ALL STRUCTURAL SYSTEMS WHICH ARE TO BE COMPOSED OF COMPONENTS TO BE FIELD ERECTED SHALL BE SUPERVISED BY THE SUPPLIER DURING MANUFACTURING, DELIVERY, HANDLING, STORAGE, AND ERECTION IN ACCORDANCE WITH INSTRUCTIONS PREPARED BY THE SUPPLIER.

GEOTECHNICAL

10. FOUNDATION NOTES: SUBGRADE PREPARATION INCLUDING DRAINAGE, EXCAVATION, COMPACTION, AND FILLING REQUIREMENTS, SHALL CONFORM STRICTLY WITH RECOMMENDATIONS GIVEN IN THE SOILS REPORT OR AS DIRECTED BY THE SOILS ENGINEER. FOOTINGS SHALL BEAR ON SOLID UNDISTURBED EARTH (CONTROLLED, COMPACTED STRUCTURAL FILL OR BOTH) AT LEAST 18" BELOW LOWEST ADJACENT FINISHED GRADE. FOOTING DEPTHS/ELEVATIONS SHOWN ON PLANS (OR IN DETAILS) ARE MINIMUM AND FOR GUIDANCE ONLY; THE ACTUAL ELEVATIONS OF FOOTINGS MUST BE ESTABLISHED BY THE CONTRACTOR IN THE FIELD WORKING WITH THE TESTING LAB AND SOILS ENGINEER. BACKFILL BEHIND ALL RETAINING WALLS WITH FREE DRAINING GRANULAR FILL AND PROVIDE FOR SUBSURFACE DRAINAGE AS NOTED IN THE SOILS REPORT.
- | | |
|---------------------------------------|--------------------|
| ALLOWABLE SOIL PRESSURE | 2,500 PSF |
| LATERAL EARTH PRESSURE (UNRESTRAINED) | 35 PCF |
| LATERAL EARTH PRESSURE (SEISMIC) | 8H (ULTIMATE LOAD) |
| PASSIVE EARTH PRESSURE (UNFACTORED) | 350 PCF |
| COEFFICIENT OF FRICTION (UNFACTORED) | 0.40 |
11. DRILLED CONCRETE PILES: DRILLED PILES ARE DESIGNED PER THE GEOTECHNICAL REPORT FOR UNFACTORED ACTIVE SOIL PRESSURE = 40 PCF FOR A TOTAL DEPTH OF 10 FEET AND 400 PCF FOR THE REMAINING DEPTH OF THE PILE (MINIMUM DEPTH = 30 FEET). REFER TO GEOTECHNICAL REPORT FOR ADDITIONAL INFORMATION.

SOILS REPORT REFERENCE: REPORT JN 16182, PREPARED BY GEOTECH CONSULTANTS, INC. DATED MAY 11, 2016

RENOVATION

12. DEMOLITION: CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS BEFORE COMMENCING ANY DEMOLITION. SHORING SHALL BE INSTALLED TO SUPPORT EXISTING CONSTRUCTION AS REQUIRED AND IN A MANNER SUITABLE TO THE WORK SEQUENCES. EXISTING REINFORCING SHALL BE SAVED WHERE AND AS NOTED ON THE PLANS. SAW CUTTING, IF AND WHERE USED, SHALL NOT CUT EXISTING REINFORCING THAT IS TO BE SAVED. DEMOLITION DEBRIS SHALL NOT BE ALLOWED TO DAMAGE OR OVERLOAD THE EXISTING STRUCTURE. LIMIT CONSTRUCTION LOADING (INCLUDING DEMOLITION DEBRIS) ON EXISTING FLOOR SYSTEMS TO 40 PSF.
- A. ALL NEW OPENINGS THROUGH EXISTING WALLS, SLABS AND BEAMS SHALL BE ACCOMPLISHED BY SAW CUTTING WHEREVER POSSIBLE. OVERCUTTING AT CORNERS SHALL NOT BE PERMITTED.
- B. CONTRACTOR SHALL VERIFY ALL EXISTING CONDITIONS AND LOCATION OF MEMBERS PRIOR TO CUTTING ANY OPENINGS.
- C. SMALL ROUND OPENINGS SHALL BE ACCOMPLISHED BY CORE DRILLING, IF POSSIBLE.
- D. WHERE NEW REINFORCING TERMINATES AT EXISTING CONCRETE, THREADED BARS INTO THREADED EXPANSION INSERTS IN EXISTING CONCRETE SHALL BE PROVIDED TO MATCH HORIZONTAL REINFORCING, UNLESS OTHERWISE NOTED ON PLANS.

CONCRETE

13. CONCRETE SHALL BE MIXED, PROPORTIONED, CONVEYED, AND PLACED IN ACCORDANCE WITH THE INTERNATIONAL BUILDING CODE SECTION 1905 AND ACI 301-11. CONCRETE SHALL ATTAIN A 28-DAY STRENGTH OF $f_c = 3,000$ PSI, SHALL CONTAIN NO LESS THAN 6 1/2 SACKS OF CEMENT, HAVE A MAXIMUM WATER / CEMENT RATIO OF 0.45, AND A SLUMP OF 5' OR LESS. CONCRETE HAS BEEN DESIGNED USING 2,500 PSI PER INTERNATIONAL BUILDING CODE SECTION 1705.3 EXCEPTION 2.3 TO AVOID SPECIAL INSPECTIONS.
- MIX DESIGNS SHALL BE SUBMITTED TO THE STRUCTURAL ENGINEER AND BUILDING DEPARTMENT FOR APPROVAL TWO WEEKS PRIOR TO PLACING ANY CONCRETE. THE PERFORMANCE MIX SHALL INCLUDE THE AMOUNTS OF CEMENT, FINE AND COARSE AGGREGATE, WATER AND ADMIXTURES AS WELL AS THE WATER CEMENT RATIO, SLUMP, CONCRETE YIELD, AND SUBSTANTIATING STRENGTH DATA IN ACCORDANCE WITH CHAPTER 5 OF ACI 318-11. THE USE OF A PERFORMANCE MIX REQUIRES BATCH PLANT INSPECTION, THE COST OF WHICH SHALL BE PAID BY THE GENERAL CONTRACTOR. REVIEW OF MIX SUBMITTALS BY THE ENGINEER OF RECORD INDICATES ONLY THAT INFORMATION PRESENTED CONFORMS TO THE CONTRACT DOCUMENTS. CONTRACTOR OR SUPPLIER MAINTAINS FULL RESPONSIBILITY FOR SPECIFIED PERFORMANCE.
- ALL CONCRETE WITH SURFACES EXPOSED TO STANDING WATER SHALL BE AIR-ENTRAINED WITH AN AIR-ENTRAINING AGENT CONFORMING TO ASTM C260, C494M, AND C618. UNLESS OTHERWISE NOTED THE TOTAL AIR CONTENT FOR FROST-RESISTANT CONCRETE SHALL BE 5% IN ACCORDANCE EXPOSURE CLASS F1 PER ACI 318-11 TABLE 4.3.1 AND TABLE 4.4.1.
14. REINFORCING STEEL SHALL CONFORM TO ASTM A615 (INCLUDING SUPPLEMENTS S1), GRADE 60, $f_y = 60,000$ PSI. EXCEPTIONS: ANY BARS SPECIFICALLY SO NOTED ON THE DRAWINGS SHALL BE GRADE 40, $f_y = 40,000$ PSI.
- WELDED WIRE FABRIC SHALL CONFORM TO ASTM A-185
15. DETAILING OF REINFORCING STEEL (INCLUDING HOOKS AND BENDS) SHALL BE IN ACCORDANCE WITH ACI SP-66-04 AND 318-11. LAP ALL CONTINUOUS REINFORCEMENT #5 AND SMALLER 48 BAR DIAMETERS OR 2'-0" MINIMUM. A MAXIMUM OF ONE HALF OF THE TOTAL REINFORCEMENT SHALL BE LAPPED WITH THE REQUIRED LAP LENGTH. PROVIDE CORNER BARS AT ALL WALL AND FOOTING INTERSECTIONS. LAP ADJACENT MATS OF WELDED WIRE FABRIC A MINIMUM OF 8" AT SIDES AND ENDS.
- NO BARS PARTIALLY EMBEDDED IN HARDENED CONCRETE SHALL BE FIELD BENT UNLESS SPECIFICALLY SO DETAILED OR APPROVED BY THE STRUCTURAL ENGINEER. FIELD BENDING OF GRADE 60 REINFORCEMENT SHALL NOT BE ALLOWED.
16. CONCRETE PROTECTION (COVER) FOR REINFORCING STEEL SHALL BE AS FOLLOWS:
- | | |
|--|--------|
| FOOTINGS AND OTHER UNFORMED SURFACES CAST AGAINST AND PERMANENTLY EXPOSED TO EARTH | 3" |
| ALL OTHER SURFACES | 1-1/2" |
17. SLABS-ON-GRADE: UNLESS NOTED OTHERWISE SHALL BE 4' CONCRETE, REINFORCED WITH 6X6 W1.4XW1.4 WELDED WIRE FABRIC CENTERED IN SLAB. UNLESS OTHERWISE DIRECTED BY SOILS ENGINEER PROVIDE MINIMUM 6 MIL VAPOR BARRIER OVER 4' OF COMPACTED SAND OR GRAVEL.
18. CAST-IN-PLACE CONCRETE: SEE ARCHITECTURAL DRAWINGS FOR EXACT LOCATIONS AND DIMENSIONS OF DOOR AND WINDOW OPENINGS IN ALL CONCRETE WALLS. SEE ARCHITECTURAL DRAWINGS FOR ALL GROOVES, NOTCHES, CHAMFERS, FEATURE STRIPS, COLOR, TEXTURE, AND OTHER FINISH DETAILS AT ALL EXPOSED CONCRETE SURFACES.
19. NON-SHRINK GROUT SHALL BE FURNISHED BY AN APPROVED MANUFACTURER AND SHALL BE MIXED AND PLACED IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS. GROUT STRENGTH SHALL BE AT LEAST EQUAL TO THE MATERIAL ON WHICH IT IS PLACED (3,000 PSI MINIMUM).

POST-INSTALLED ANCHORS

20. POST-INSTALLED ANCHORS SHALL ONLY BE USED WHERE SPECIFIED ON THE CONSTRUCTION DOCUMENTS. THE CONTRACTOR SHALL OBTAIN APPROVAL FROM THE ENGINEER-OF-RECORD PRIOR TO INSTALLING POST-INSTALLED ANCHORS IN PLACE OF MISSING OR MISPLACED CAST-IN-PLACE ANCHORS. CARE SHALL BE TAKEN IN PLACING POST-INSTALLED ANCHORS TO AVOID CONFLICTS WITH EXISTING REINFORCEMENT. HOLES SHALL BE DRILLED AND CLEANED IN ACCORDANCE WITH THE MANUFACTURER'S WRITTEN INSTRUCTIONS AND ICC-ES REPORT. SUBSTITUTION REQUESTS, FOR PRODUCTS OTHER THAN THOSE SPECIFIED BELOW, SHALL BE SUBMITTED BY THE CONTRACTOR TO THE ENGINEER-OF-RECORD FOR APPROVAL.
- A. CONCRETE ANCHORS
1. ADHESIVE ANCHORS FOR USE IN CRACKED AND UNCRACKED CONCRETE SHALL HAVE BEEN TESTED AND QUALIFIED FOR USE IN ACCORDANCE WITH ICC-ES AC308. PRE-APPROVED ADHESIVE ANCHORS INCLUDE:
- SIMPSON STRONG-TIE SET-XP (ICC-ES ESR-2508)
 - SIMPSON STRONG-TIE AT-XP (APMO UES ER-263)
 - HILTI HIT-RE 500-SD (ICC-ES ESR-2322)

STEEL

21. STRUCTURAL STEEL DESIGN, FABRICATION, AND ERECTION SHALL BE BASED ON THE LATEST EDITIONS OF THE AMERICAN INSTITUTE OF STEEL CONSTRUCTION (AISC) CODES AND SPECIFICATIONS. ALL WELDING SHALL CONFORM TO THE AMERICAN WELDING SOCIETY STRUCTURAL WELDING CODE D1.1 AND D1.4.
22. STRUCTURAL STEEL SHALL CONFORM TO THE FOLLOWING REQUIREMENTS:

TYPE OF MEMBER	ASTM SPECIFICATION	F _y
A. PLATES, ANGLES, AND RODS	A36	36 KSI
B. WIDE FLANGE SHAPES AND CHANNELS	A992	50 KSI
C. PIPE COLUMNS	A53 (TYPE E OR S, GRADE B)	35 KSI
D. STRUCTURAL TUBING (SQUARE OR RECTANGULAR)	A500 (GRADE B)	46 KSI
E. ANCHOR BOLTS (EMBEDDED IN MASONRY OR CONCRETE)	A307	
F. CONNECTION BOLTS	A325-N OR A490-N (3/4" ROUND, UNLESS SHOWN OTHERWISE) A36 OR A307 GRADE C	36 KSI
G. THREADED RODS FOR EPOXY GROUTED CONNECTIONS		

23. ALL A-325 CONNECTION BOLTS SHALL BE INSTALLED TO THE SNUG-TIGHT CONDITION PER AISC SPECIFICATIONS. INSTALL IN STRICT ACCORDANCE WITH THE MANUFACTURER'S PUBLISHED RECOMMENDATIONS.
24. ALL WELDING SHALL BE IN CONFORMANCE WITH AISC AND A.W.S. STANDARDS AND SHALL BE PERFORMED BY WABO CERTIFIED WELDERS USING E70 XX ELECTRODES UNLESS OTHERWISE NOTED. ONLY PREQUALIFIED WELDS (AS DEFINED BY A.W.S.) SHALL BE USED.

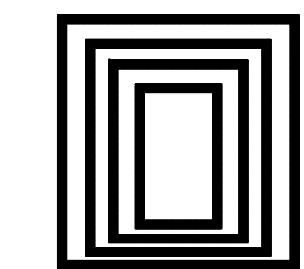


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WOOD

25. **FRAMING LUMBER** SHALL BE KILN DRIED OR MC-19, AND GRADED AND MARKED IN CONFORMANCE WITH W.C.L.I.B. STANDARD GRADING RULES FOR WEST COAST LUMBER NO. 17, LATEST EDITION. FURNISH TO THE FOLLOWING MINIMUM STANDARDS.

JOISTS:	HEM-FIR NO. 2 (2X, 3X, AND 4X MEMBERS)	MINIMUM BASE VALUE, Fb = 850 PSI
	BEAM AND STRINGERS: (6 X AND LARGER MEMBERS)	DOUGLAS FIR NO. 1 MINIMUM BASIC DESIGN STRESS, Fb = 1,350 PSI
	POSTS AND TIMBERS: (6 X AND LARGER MEMBERS)	DOUGLAS FIR NO. 1 MINIMUM BASIC DESIGN STRESS, Fb = 1,200 PSI, Fc = 1,000 PSI
	STUDS, PLATES & MISCELLANEOUS LIGHT FRAMING (FINGER JOINTED STUDS MAY NOT BE USED WITH APPROVAL FROM STRUCTURAL ENGINEER)	DOUGLAS FIR/ HEM-FIR NO. 2, Fb = 850 PSI, Fc = 1,300 PSI
	2X AND 3X TONGUE AND GROOVE DECKING	HEM-FIR COMMERCIAL DEX, Fb = 1,350 PSI

26. **PARALLEL STRAND LUMBER (PSL):** EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, PRODUCT DESIGNATION OR TYPE, THE PRODUCTION DATE, SPECIES OR SPECIES GROUP DESIGNATION, AND THE QUALITY CONTROL AGENCY. MEMBERS SHALL BE GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2659 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. STRUCTURAL CAPACITIES SHALL BE ESTABLISHED IN ACCORDANCE WITH ASTM D5456 AND PRODUCT SHALL HAVE AN APPROVED I.C.C.-E.S. EVALUATION REPORT. MEMBERS SHALL BE TRANSPORTED AND STORED PER MANUFACTURERS RECOMMENDATIONS AND SHALL NOT BE EXPOSED TO PROLONGED MOISTURE. MINIMUM REQUIRED DESIGN PROPERTIES: Fb = 2900 PSI, E = 2,000,000 PSI, Fv = 290 PSI.

DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY THE MEYERHAEUSER. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

27. **LAMINATED VENEER LUMBER (LVL):** EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, PRODUCT DESIGNATION OR TYPE, THE PRODUCTION DATE, SPECIES OR SPECIES GROUP DESIGNATION, AND THE QUALITY CONTROL AGENCY. MEMBERS SHALL BE GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2659 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. STRUCTURAL CAPACITIES SHALL BE ESTABLISHED IN ACCORDANCE WITH ASTM D5456 AND PRODUCT SHALL HAVE AN APPROVED I.C.C.-E.S. EVALUATION REPORT. MEMBERS SHALL BE TRANSPORTED AND STORED PER MANUFACTURERS RECOMMENDATIONS AND SHALL NOT BE EXPOSED TO PROLONGED MOISTURE. MINIMUM REQUIRED DESIGN PROPERTIES: Fb = 2600 PSI, Fv = 285 PSI, E = 2,000,000 PSI.

DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY MEYERHAEUSER. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER, ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

28. **LAMINATED STRAND LUMBER (LSL):** EACH PIECE SHALL BEAR A STAMP OR STAMPS NOTING THE NAME AND PLANT NUMBER OF THE MANUFACTURER, THE GRADE, PRODUCT DESIGNATION OR TYPE, THE PRODUCTION DATE, SPECIES OR SPECIES GROUP DESIGNATION, AND THE QUALITY CONTROL AGENCY. MEMBERS SHALL BE GLUED WITH A WATERPROOF ADHESIVE MEETING THE REQUIREMENTS OF ASTM D2659 WITH ALL GRAIN PARALLEL WITH THE LENGTH OF THE MEMBER. STRUCTURAL CAPACITIES SHALL BE ESTABLISHED IN ACCORDANCE WITH ASTM D5456 AND PRODUCT SHALL HAVE AN APPROVED I.C.C.-E.S. EVALUATION REPORT. MEMBERS SHALL BE TRANSPORTED AND STORED PER MANUFACTURERS RECOMMENDATIONS AND SHALL NOT BE EXPOSED TO PROLONGED MOISTURE. MINIMUM REQUIRED DESIGN PROPERTIES: Fb = 2325 PSI, Fv = 310 PSI, E = 1,550,000 PSI.

DESIGN SHOWN ON PLANS IS BASED ON LUMBER MANUFACTURED BY MEYERHAEUSER. ALTERNATE MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER, ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH MEMBERS PROVIDED.

29. **PREFABRICATED PLYWOOD WEB JOIST** DESIGN SHOWN ON PLANS IS BASED ON JOIST MANUFACTURED BY THE MEYERHAEUSER. ALTERNATE PLYWOOD WEB JOIST MANUFACTURERS MAY BE USED SUBJECT TO REVIEW AND APPROVAL BY THE ARCHITECT AND STRUCTURAL ENGINEER. ALTERNATE JOIST HANGERS AND OTHER HARDWARE MAY BE SUBSTITUTED FOR ITEMS SHOWN PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. ALL JOIST HANGERS AND OTHER HARDWARE SHALL BE COMPATIBLE IN SIZE WITH PLYWOOD WEB JOIST PROVIDED.

30. **PLYWOOD SHEATHING** SHALL BE GRADE C-D, EXTERIOR GLUE OR STRUCTURAL II, EXTERIOR GLUE IN CONFORMANCE WITH DOC PS 1-09 OR PS 2-10 AND AMERICAN PLYWOOD ASSOCIATION PERFORMANCE STANDARD PRP-108. ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD. SEE PLANS FOR THICKNESS, PANEL IDENTIFICATION INDEX AND NAILING REQUIREMENTS. EACH PANEL SHALL BE IDENTIFIED FOR GRADE AND GLUE TYPE BY THE TRADEMARKS OF AN APPROVED TESTING AND GRADING AGENCY.

31. **ALL WOOD PLATES** IN DIRECT CONTACT WITH CONCRETE OR MASONRY SHALL BE PRESSURE-TREATED WITH AN APPROVED PRESERVATIVE, PROVIDE 2 LAYERS OF ASPHALT IMPREGNATED BUILDING PAPER BETWEEN UNTREATED LEDGERS, BLOCKING, ETC. AND CONCRETE OR MASONRY.

PRESSURE TREATED LUMBER SHALL COMPLY WITH THE AMERICAN WOOD PROTECTION ASSOCIATION (AWPA) STANDARD U1, COMMODITY SPECIFICATION A AS INDICATED BELOW OR HAVE EQUIVALENT ICC-ES APPROVAL.

PROPOSED USE	AWPA USE CATEGORY
RESIDENTIAL DECKS	DECKING 3B
	JOISTS ABOVE GROUND 3B
	JOISTS IN CONTACT WITH GROUND 4A
	POSTS 4A
	RAILING 3B
	LEDGERS 3B
SILL PLATES	IN CONTACT WITH CONCRETE OR MASONRY 2

ALL TREATED LUMBER SHALL BEAR THE QUALITY MARK OF AN ACCREDITED INSPECTION AGENCY. THE QUALITY MARK SHALL INCLUDE:

- A. IDENTIFICATION OF TREATING MANUFACTURER
- B. TYPE OF PRESERVATIVE USED
- C. MINIMUM PRESERVATIVE RETENTION (PCF)
- D. END USE FOR WHICH THE PRODUCT IS TREATED
- E. IDENTITY OF THE ACCREDITED INSPECTION AGENCY
- F. STANDARD TO WHICH THE PRODUCT IS TREATED

32. **TIMBER CONNECTORS** CALLED OUT BY LETTERS AND NUMBERS SHALL BE "STRONG-TIE" BY SIMPSON COMPANY, AS SPECIFIED IN THEIR CATALOG NUMBER C-2013. EQUIVALENT DEVICES BY OTHER MANUFACTURERS MAY BE SUBSTITUTED, PROVIDED THEY HAVE ICC-ES APPROVAL FOR EQUAL OR GREATER LOAD CAPACITIES. PROVIDE NUMBER AND SIZE OF FASTENERS AS SPECIFIED BY MANUFACTURER. CONNECTORS SHALL BE INSTALLED IN ACCORDANCE WITH THE MANUFACTURER'S RECOMMENDATIONS. WHERE CONNECTOR STRAPS CONNECT TWO MEMBERS, PLACE ONE-HALF OF THE NAILS OR BOLTS IN EACH MEMBER. ALL BOLTS IN WOOD MEMBERS SHALL CONFORM TO ASTM A307. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE COMMON AND MAXIMUM NUMBER OF NAILS AS SPECIFIED BY THE MANUFACTURER SHALL BE PROVIDED. ALL SHIMS SHALL BE SEASONED AND DRIED AND THE SAME GRADE (MINIMUM) AS MEMBERS CONNECTED. ALL SAW LUMBER JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "LUS" SERIES JOIST HANGERS AND ALL PREFABRICATED PLYWOOD WEB JOISTS SHALL BE CONNECTED TO FLUSH BEAMS WITH "JUS" SERIES JOIST HANGERS UNLESS NOTED OTHERWISE.

ALL CONNECTIONS IN CONTACT WITH PRESERVATIVE-TREATED OR FIRE-RETARDANT-TREATED WOOD, SHALL BE OF HOT DIPPED ZINC-COATED GALVANIZED STEEL OR STAINLESS STEEL. HOT DIPPED GALVANIZED FASTENERS SHOULD CONFORM TO ASTM STANDARD 153, AND HOT DIPPED GALVANIZED CONNECTORS SHOULD CONFORM TO ASTM STANDARD A653 (CLASS G-185). STAINLESS STEEL FASTENERS AND CONNECTORS SHOULD BE TYPE 304 OR 316. NOTE: ELECTROPLATED GALVANIZED FASTENERS AND CONNECTORS ARE NOT TO BE USED WITH PRESSURE TREATED WOOD. SIMPSON PRODUCT FINISHES CORRESPONDING TO THE ABOVE REQUIREMENTS ARE ZMAX (HOT DIPPED GALVANIZED) AND SST300 (STAINLESS STEEL). STAINLESS STEEL HARDWARE AND FASTENERS SHALL NOT BE COMBINED WITH UNTREATED OR GALVANIZED MATERIAL.

33. **WOOD FASTENERS:**

A. **NAIL SIZES** SPECIFIED ON DRAWINGS ARE BASED ON THE FOLLOWING SPECIFICATIONS:

SIZE	LENGTH	DIAMETER
6d	2"	0.113"
8d	2-1/2"	0.131"
10d	3"	0.148"
12d	3-1/4"	0.148"
16d	3-1/2"	0.162"

DESIGN IS BASED ON COMMON STEEL WIRE NAILS MEETING THE REQUIREMENTS OF ASTM F1667. USE OF ALTERNATE FASTENERS MUST BE SUBMITTED FOR REVIEW AND APPROVAL BY THE STRUCTURAL ENGINEER PRIOR TO THE START OF CONSTRUCTION.

B. **NAILS** - PLYWOOD (APA RATED SHEATHING) FASTENERS TO FRAMING SHALL BE DRIVEN FLUSH TO FACE OF SHEATHING WITH NO COUNTERSINKING PERMITTED.

34. **WOOD FRAMING NOTES** - THE FOLLOWING APPLY UNLESS OTHERWISE SHOWN ON THE PLANS:

A. ALL WOOD FRAMING DETAILS NOT SHOWN OTHERWISE SHALL BE CONSTRUCTED TO THE MINIMUM STANDARDS OF THE INTERNATIONAL BUILDING CODE. MINIMUM NAILING, UNLESS OTHERWISE NOTED, SHALL CONFORM TO TABLE 2304.9.1 OF THE INTERNATIONAL BUILDING CODE. UNLESS NOTED OTHERWISE, ALL NAILS SHALL BE AS SPECIFIED ABOVE. COORDINATE THE SIZE AND LOCATION OF ALL OPENINGS WITH MECHANICAL AND ARCHITECTURAL DRAWINGS. PROVIDE WASHERS UNDER THE HEADS AND NUTS OF ALL BOLTS AND LAG SCREWS BEARING ON WOOD. INSTALLATION OF BOLTS AND LAG SCREWS SHALL CONFORM TO SECTIONS 11.1.2 AND 11.1.3 OF THE 2015 NATIONAL DESIGN SPECIFICATION FOR WOOD CONSTRUCTION. NATURALLY DURABLE OR PRESSURE TREATED WOOD SHALL BE PROVIDED WHERE REQUIRED BY SECTION 2304.11 OF THE INTERNATIONAL BUILDING CODE.

B. **WALL FRAMING:** ALL STUD WALLS SHOWN AND NOT OTHERWISE NOTED SHALL BE 2X8 AT 16" O.C. TWO STUDS MINIMUM SHALL BE PROVIDED AT THE END OF ALL WALLS AND AT EACH SIDE OF ALL OPENINGS. TWO 2 x 8 HEADERS SHALL BE PROVIDED OVER ALL OPENINGS NOT OTHERWISE NOTED AND SHALL BEAR FULLY ON A MINIMUM OF TWO STUDS. SOLID BLOCKING FOR WOOD COLUMNS SHALL BE PROVIDED THROUGH FLOORS TO SUPPORTS BELOW. PROVIDE SOLID BLOCKING BETWEEN STUDS AT MID-HEIGHT OF ALL STUD WALLS OVER 10' IN HEIGHT.

STUDS MAY BE NOTCHED, CUT, OR PENETRATED WITH ROUND BORED HOLES AS FOLLOWS:

STUD SIZE	MAXIMUM NOTCH/CUT	MAXIMUM BORED HOLE
2X4	7/8"	1-3/8"
2X6	1-3/8"	2-1/8"

BORED HOLES SHALL NOT BE LOCATED WITH 5/8" FROM THE EDGE OF THE STUD OR AT THE SAME LOCATION AS A NOTCH OR CUT.

WALLS SHALL HAVE A SINGLE BOTTOM PLATE AND A DOUBLE TOP PLATE. END NAIL TOP PLATE TO EACH STUD WITH TWO 16d NAILS, AND TOENAIL OR END NAIL EACH STUD TO BOTTOM PLATE WITH TWO 16d NAILS. FACE NAIL DOUBLE TOP PLATE WITH 16d AT 12" O.C. AND LAP MINIMUM 4'-0" AT JOINTS AND PROVIDE EIGHT 16d NAILS AT 4" O.C. EACH SIDE OF JOINT.

ALL STUD WALLS SHALL HAVE THEIR LOWER WOOD PLATES ATTACHED TO WOOD FRAMING BELOW WITH 16d NAILS AT 12" O.C. STAGGERED OR BOLTED TO CONCRETE WITH 5/8" DIAMETER ANCHOR BOLTS (WITH 7" MINIMUM EMBEDMENT) @ 4'-0" O.C. UNLESS INDICATED OTHERWISE. PROVIDE 3x3" x1/4" HOT-DIPPED GALVANIZED PLATE WASHERS AT ALL ANCHOR BOLTS. INDIVIDUAL MEMBERS OF BUILT-UP POSTS SHALL BE NAILED TO EACH OTHER WITH 16d NAILS @ 12" O.C. STAGGERED. REFER TO THE PLANS AND SHEAR WALL SCHEDULE FOR REQUIRED SHEATHING AND NAILING. WHEN NOT OTHERWISE NOTED, PROVIDE GYPSUM WALLBOARD ON INTERIOR SURFACES AND BLOCKING WITH NAILS AT 7" O.C. USE 6d COOLER NAILS FOR 1/2" GWB AND 8d COOLER NAILS FOR 5/8" GWB. PROVIDE 15/32" APA RATED SHEATHING (SPAN RATING 24/0) ON EXTERIOR SURFACES NAILED AT ALL PANEL EDGES (BLOCK UNSUPPORTED EDGES), TOP AND BOTTOM PLATES WITH 8d NAILS @ 6" O.C. AND TO ALL INTERMEDIATE STUDS AND BLOCKING WITH NAILS @ 12" O.C. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS.

C. **FLOOR AND ROOF FRAMING:** PROVIDE DOUBLE JOISTS UNDER ALL PARALLEL PARTITIONS THAT EXTEND OVER MORE THAN HALF THE JOIST LENGTH AND AROUND ALL OPENINGS IN FLOORS OR ROOFS UNLESS OTHERWISE NOTED. PROVIDE SOLID BLOCKING AT ALL BEARING POINTS.

NOTCHES AT THE END OF JOISTS AND RAFTERS SHALL NOT EXCEED 1/4 THE DEPTH OF THE MEMBER. NOTCHES IN THE TOP OR BOTTOM SHALL NOT EXCEED 1/8 THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED WITHIN THE MIDDLE 1/3 OF THE SPAN. THE DIAMETER OF ROUND HOLES BORED IN JOISTS AND RAFTERS SHALL NOT EXCEED 1/3 OF THE DEPTH OF THE MEMBER AND SHALL NOT BE LOCATED WITHIN 2" FROM THE TOP OR BOTTOM EDGE.

TOENAIL JOISTS TO SUPPORTS WITH TWO 16d NAILS. ATTACH TIMBER JOISTS TO FLUSH HEADERS OR BEAMS WITH SIMPSON METAL JOIST HANGERS IN ACCORDANCE WITH NOTES ABOVE. NAIL ALL MULTI-JOIST BEAMS TOGETHER WITH TWO ROWS OF 16d @ 12" O.C. ATTACH RAFTERS AT BEARING LINES WITH H2.5 @ 24" O.C. UNLESS OTHER METAL CONNECTIONS ARE PROVIDED.

UNLESS OTHERWISE NOTED ON THE PLANS, APA RATED ROOF AND FLOOR SHEATHING SHALL BE LAID UP WITH STRENGTH AXIS PERPENDICULAR TO SUPPORTS AND NAILED WITH NAILS @ 6" O.C. TO FRAMED PANEL EDGES AND OVER STUD WALLS AS SHOWN ON PLANS AND @ 12" O.C. TO INTERMEDIATE SUPPORTS. PROVIDE APPROVED PLYWOOD EDGE CLIPS CENTERED BETWEEN JOISTS/TRUSSES AT UNBLOCKED ROOF SHEATHING EDGES. ALL FLOOR SHEATHING EDGES SHALL HAVE APPROVED TONGUE AND GROOVE JOINTS OR SHALL BE SUPPORTED WITH SOLID BLOCKING. ALLOW 1/8" SPACING AT ALL PANEL EDGES AND ENDS OF ALL ROOF AND FLOOR SHEATHING. TOENAIL BLOCKING TO SUPPORTS WITH 16d @ 12" O.C. UNLESS OTHERWISE NOTED. AT BLOCKED FLOOR AND ROOF DIAPHRAGMS PROVIDE FLAT 2X BLOCKING AT ALL UNFRAMED PLYWOOD PANEL EDGES AND NAIL WITH EDGE NAILING SPECIFIED.

TONGUE AND GROOVE STRUCTURAL ROOF AND FLOOR DECKING SHALL BE INSTALLED AS FOLLOWS:

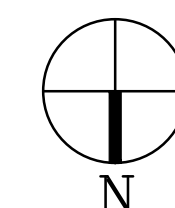
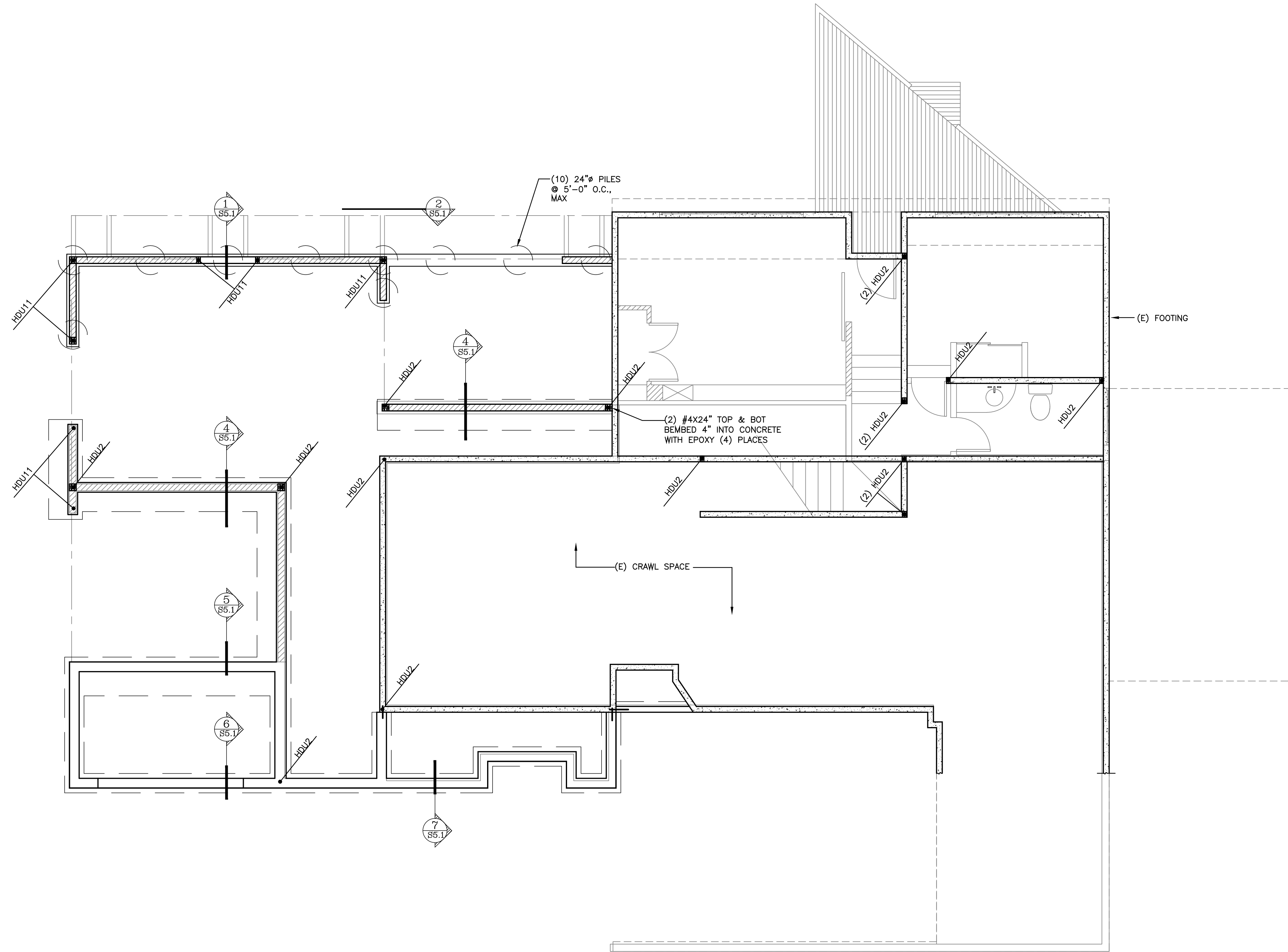
2X DECKING SHALL BE TOENAILED THROUGH THE TONGUE AND FACE NAILED WITH ONE 16d NAIL PER PIECE PER SUPPORT.

3X AND 4X DECKING SHALL BE TOENAILED WITH ONE 40d NAIL AND FACE NAILED WITH ONE 60d NAIL PER SUPPORT. COURSES SHALL BE SPIKED TOGETHER WITH 8" SPIKES AT 30" O.C. (MAXIMUM) AND AT 10" (MAXIMUM) FROM EACH END OF EACH PIECE. SPIKES SHALL BE INSTALLED IN PREDRILLED EDGE HOLES.

Date:
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Scale:

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Foundation Plan

scale: 1/4"=1'-0"

FOUNDATION PLAN NOTES

- AT HOLDOWNS PROVIDE THE FOLLOWING ANCHOR BOLTS, U.N.O.:

HOLDOWN	ANCHOR	
HDU2	SSTB16, 1/2" BOLT SET EPOXY EMBED 10" @EXISTING	
HDU1	PAB5x0'-10"	
- ALL ANCHORS TO BE INSTALLED AS REQUIRED BY MANUFACTURER. MINIMUM (2) 2X STUDS UNLESS OTHERWISE NOTED ON PLANS.
- WHERE (2)HDU IS SPECIFIED, PROVIDE (4)2x STUDS PER DETAIL. 9/55.2



July 16, 2018

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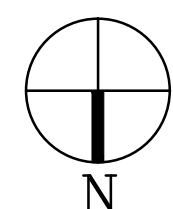
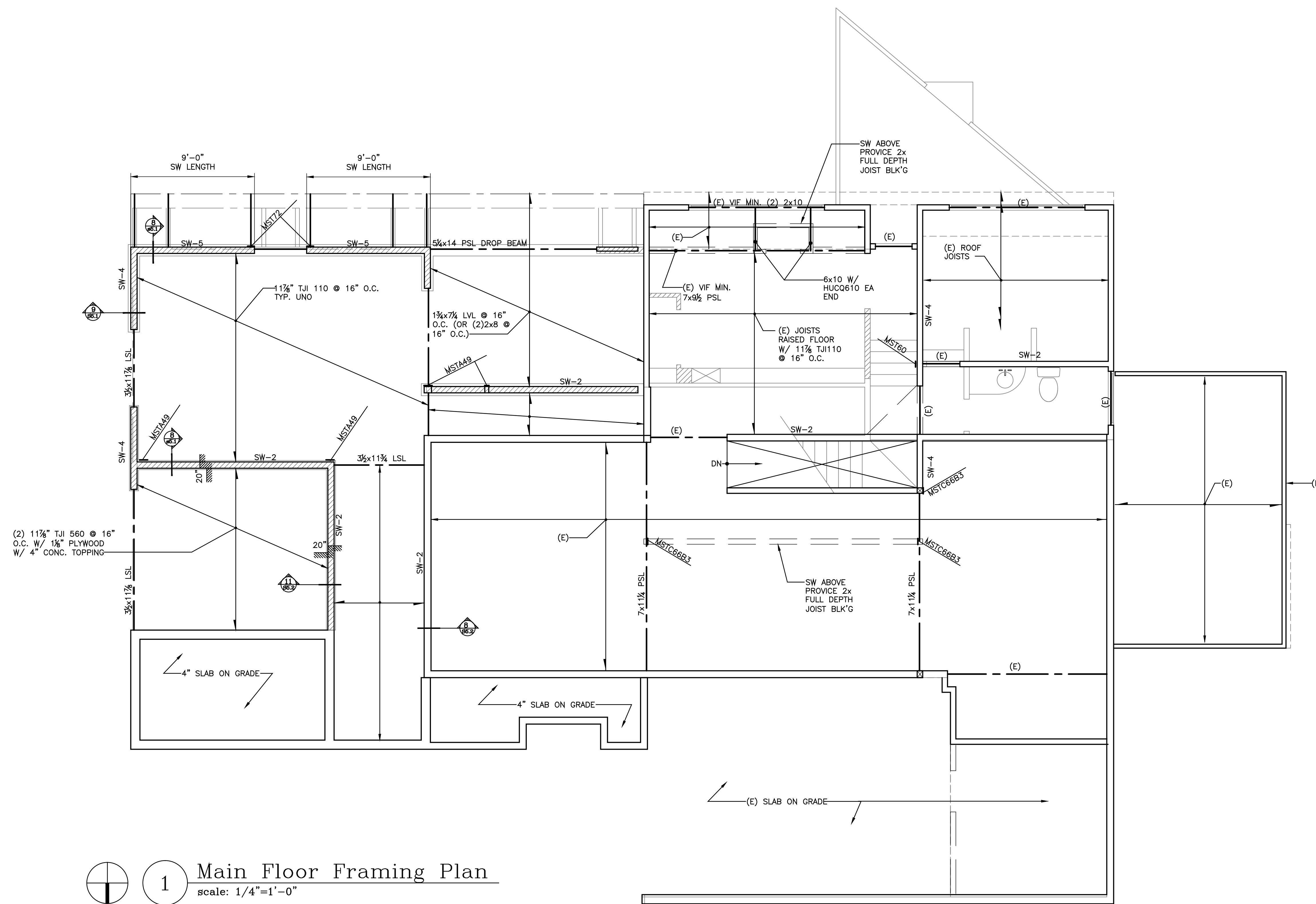
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1 Main Floor Framing Plan
scale: 1/4"=1'-0"

- FLOOR / ROOF FRAMING PLAN NOTES
- ROOF SHEATHING SHALL BE 15/32" APA RATED SHEATHING WITH A PANEL INDEX OF 24/0. NAIL TO FRAMING WITH 8D COMMON NAILS AT 6" OC AT PANEL EDGES AND 12" OC IN FIELD UNLESS NOTED OTHERWISE ON PLANS. WHERE NOTED ON THE PLANS ALL PANEL EDGES SHALL BE BLOCK WITH MINIMUM 2X MATERIAL.
 - FLOOR SHEATHING SHALL BE 23/32" APA, STURD-I-FLOOR WITH A PANEL INDEX OF 40/20. NAIL TO FRAMING WITH 100 COMMON NAILS AT 6" OC AT PANEL EDGES AND 12" OC IN FIELD UNLESS NOTED OTHERWISE ON PLANS.
 - ALL HEADERS AND BEAMS SHALL BE (2) 2X8 MINIMUM, U.N.O. REFER TO NOTE 4 FOR SUPPORT REQUIREMENTS.
 - ALL COLUMNS SHALL BE DOUBLE STUD MINIMUM, U.N.O. WITH THE BEAM OR HEADER BEARING FULLY ON THE COLUMN. INDIVIDUAL STUDS SHALL BE NAILED TOGETHER PER THE GENERAL STRUCTURAL NOTES.
 - EXTERIOR WALL SHEATHING SHALL BE 15/32" APA RATED SHEATHING WITH A PANEL INDEX OF 24/0 (ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING, AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD AT CONTRACTORS OPTION).

Date:
7/17/18 Permit Intake

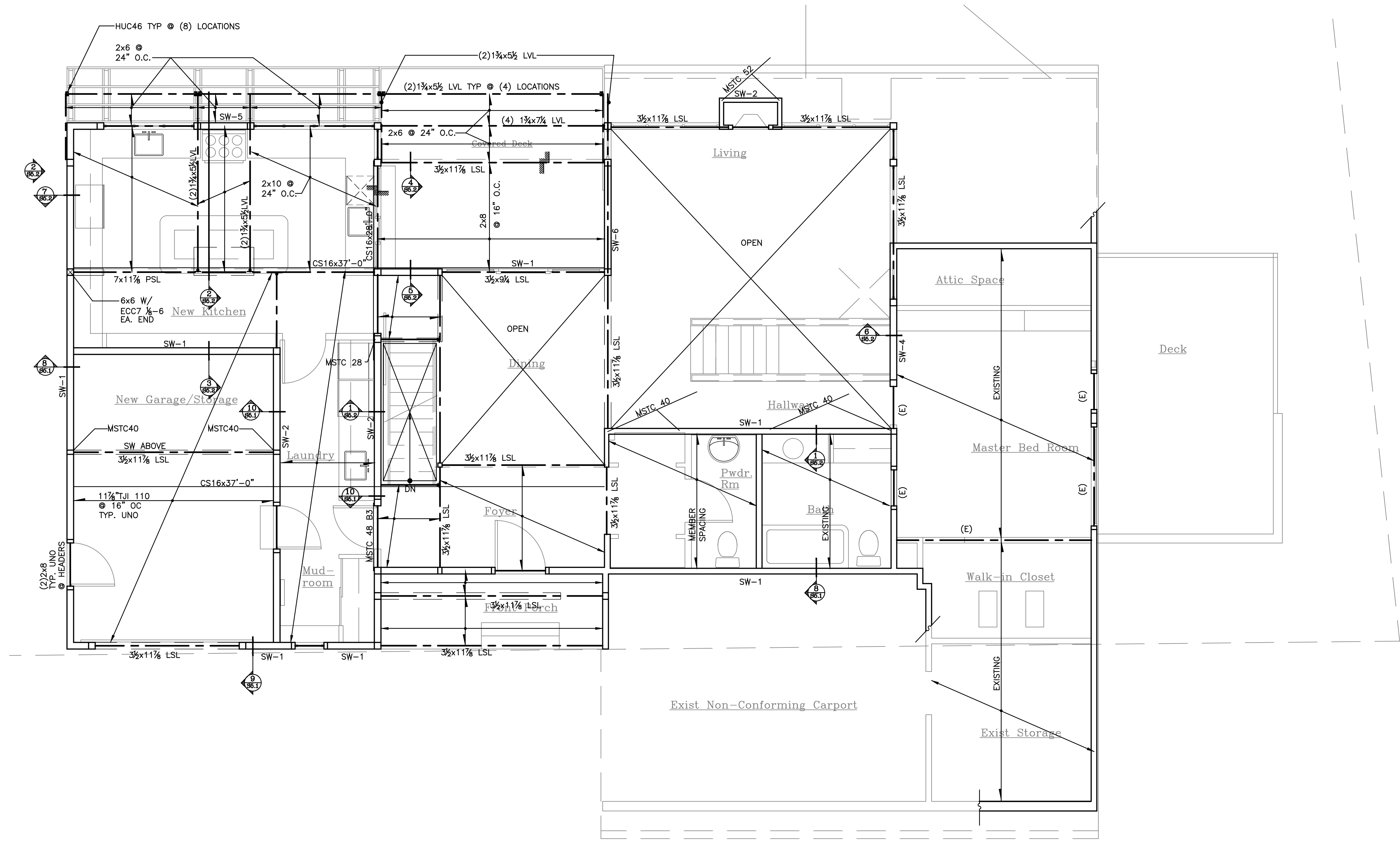
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Sheet:

Main Floor
Framing
S2.1



July 16, 2018

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 Mercer Island, WA 98040



1 Upper Floor Framing Plan
 scale: 1/4"=1'-0"

- FLOOR / ROOF FRAMING PLAN NOTES
1. ROOF SHEATHING SHALL BE 15/32" APA RATED SHEATHING WITH A PANEL INDEX OF 24/0. NAIL TO FRAMING WITH 8D COMMON NAILS AT 6" OC AT PANEL EDGES AND 12" OC IN FIELD UNLESS NOTED OTHERWISE ON PLANS. WHERE NOTED ON THE PLANS ALL PANEL EDGES SHALL BE BLOCK WITH MINIMUM 2X MATERIAL.
 2. FLOOR SHEATHING SHALL BE 23/32" APA, STURD-I-FLOOR WITH A PANEL INDEX OF 40/20. NAIL TO FRAMING WITH 10D COMMON NAILS AT 6" OC AT PANEL EDGES AND 12" OC IN FIELD UNLESS NOTED OTHERWISE ON PLANS.
 3. ALL HEADERS AND BEAMS SHALL BE (2) 2X8 MINIMUM, U.N.O. REFER TO NOTE 4 FOR SUPPORT REQUIREMENTS.
 4. ALL COLUMNS SHALL BE DOUBLE STUD MINIMUM, U.N.O., WITH THE BEAM OR HEADER BEARING FULLY ON THE COLUMN. INDIVIDUAL STUDS SHALL BE NAILED TOGETHER PER THE GENERAL STRUCTURAL NOTES.
 5. EXTERIOR WALL SHEATHING SHALL BE 15/32" APA RATED SHEATHING WITH A PANEL INDEX OF 24/0 (ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING, AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD AT CONTRACTORS OPTION).

Date: 7/17/18 Permit Intake

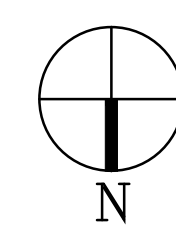
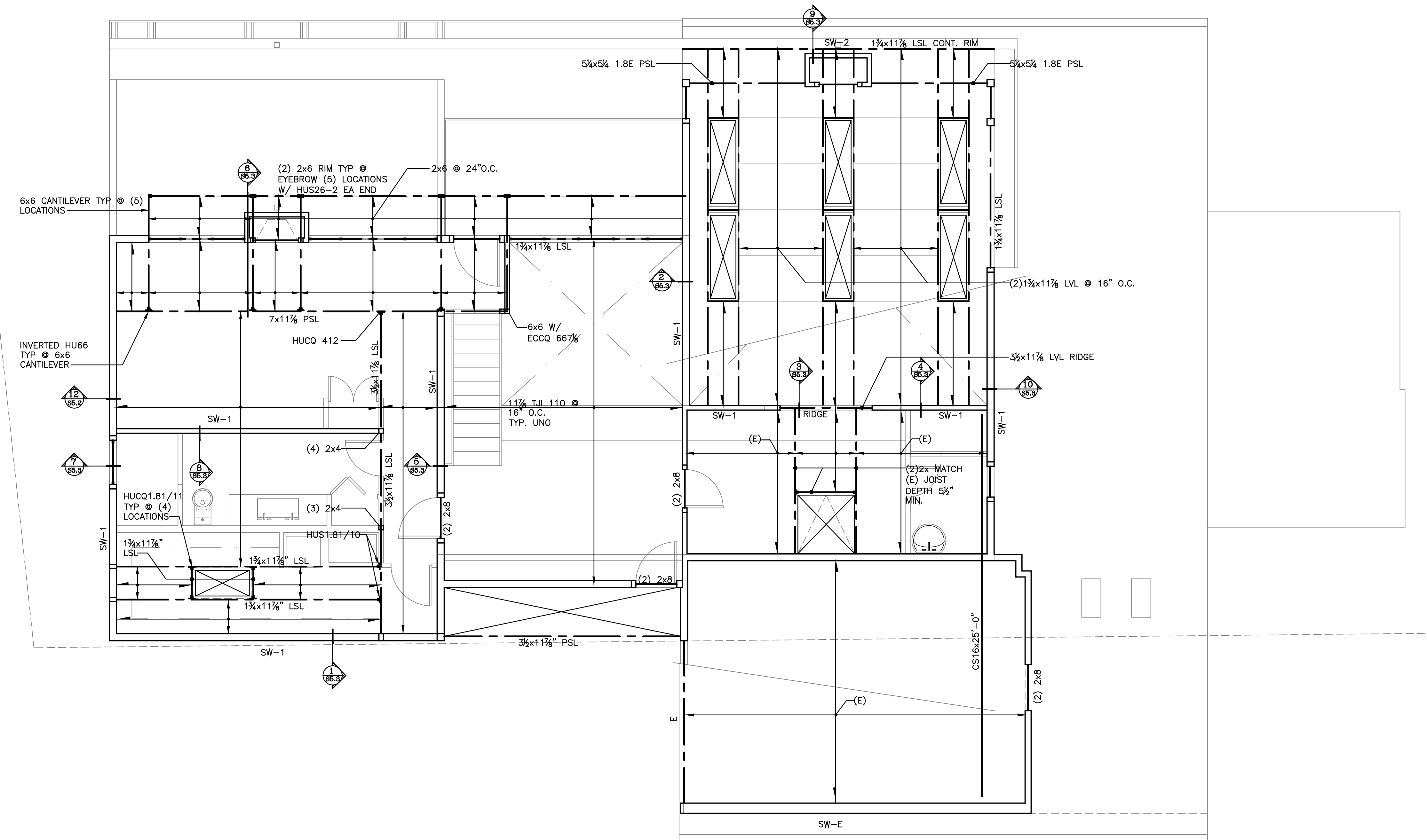
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Sheet:
 Upper Floor Framing
 S2.2



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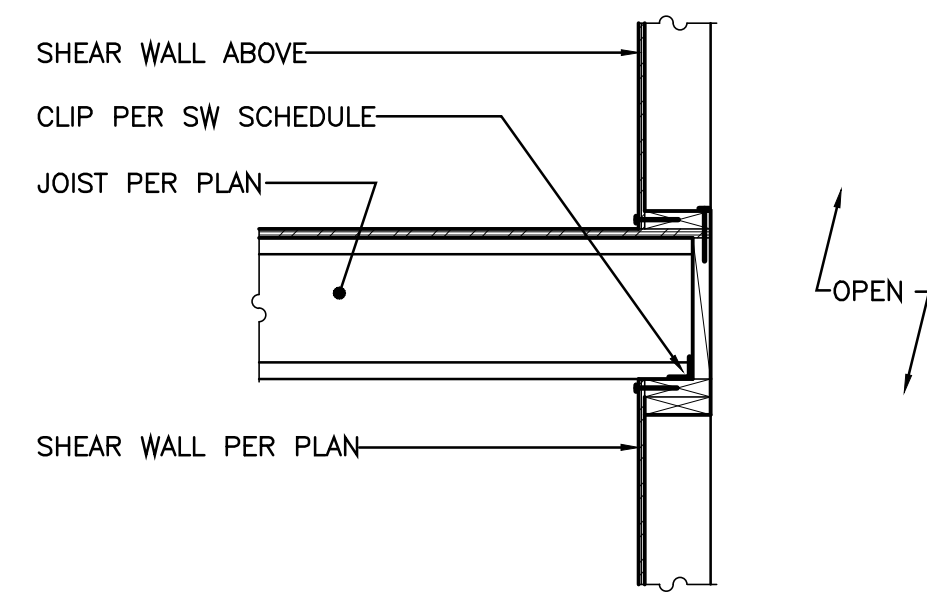
1 Roof Framing Plan
scale: 1/4"=1'-0"

- FLOOR / ROOF FRAMING PLAN NOTES
1. ROOF SHEATHING SHALL BE 15/32" APA RATED SHEATHING WITH A PANEL INDEX OF 24/0. NAIL TO FRAMING WITH 8D COMMON NAILS AT 6" OC AT PANEL EDGES AND 12" OC IN FIELD UNLESS NOTED OTHERWISE ON PLANS. WHERE NOTED ON THE PLANS ALL PANEL EDGES SHALL BE BLOCK WITH MINIMUM 2X MATERIAL.
 2. FLOOR SHEATHING SHALL BE 23/32" APA, STURD-I-FLOOR WITH A PANEL INDEX OF 40/20. NAIL TO FRAMING WITH 10D COMMON NAILS AT 6" OC AT PANEL EDGES AND 12" OC IN FIELD UNLESS NOTED OTHERWISE ON PLANS.
 3. ALL HEADERS AND BEAMS SHALL BE (2) 2X8 MINIMUM, U.N.O. REFER TO NOTE 4 FOR SUPPORT REQUIREMENTS.
 4. ALL COLUMNS SHALL BE DOUBLE STUD MINIMUM, U.N.O., WITH THE BEAM OR HEADER BEARING FULLY ON THE COLUMN. INDIVIDUAL STUDS SHALL BE NAILED TOGETHER PER THE GENERAL STRUCTURAL NOTES.
 5. EXTERIOR WALL SHEATHING SHALL BE 15/32" APA RATED SHEATHING WITH A PANEL INDEX OF 24/0 (ORIENTED STRAND BOARD OF EQUIVALENT THICKNESS, EXPOSURE RATING, AND PANEL INDEX MAY BE USED IN LIEU OF PLYWOOD AT CONTRACTORS OPTION).

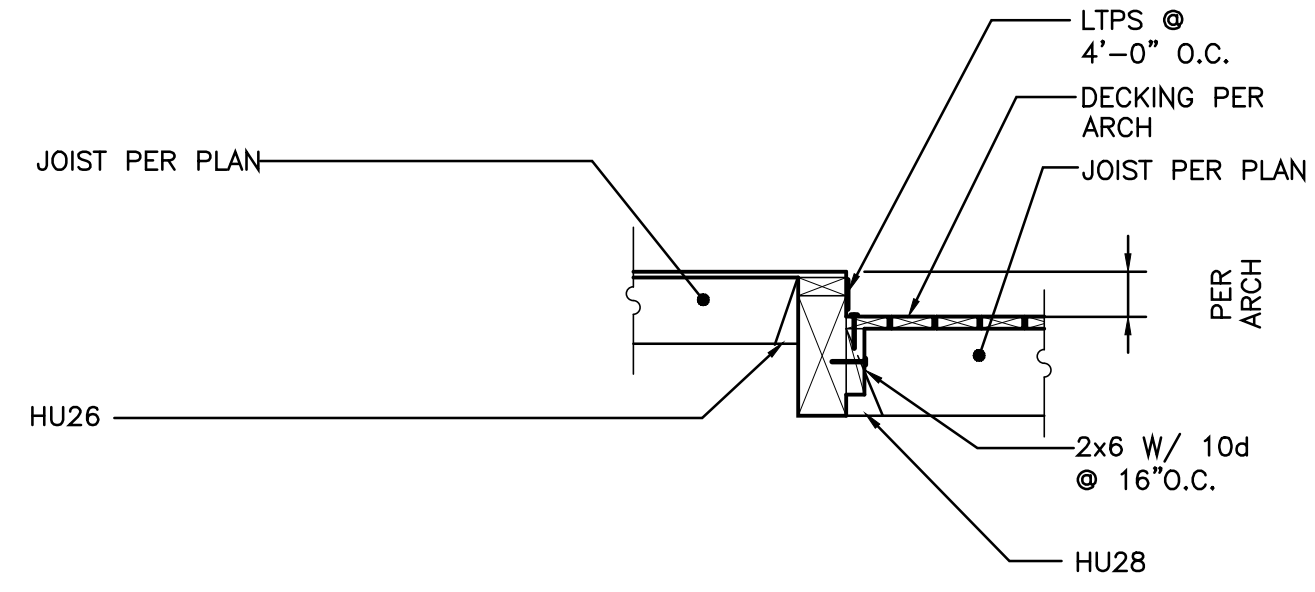
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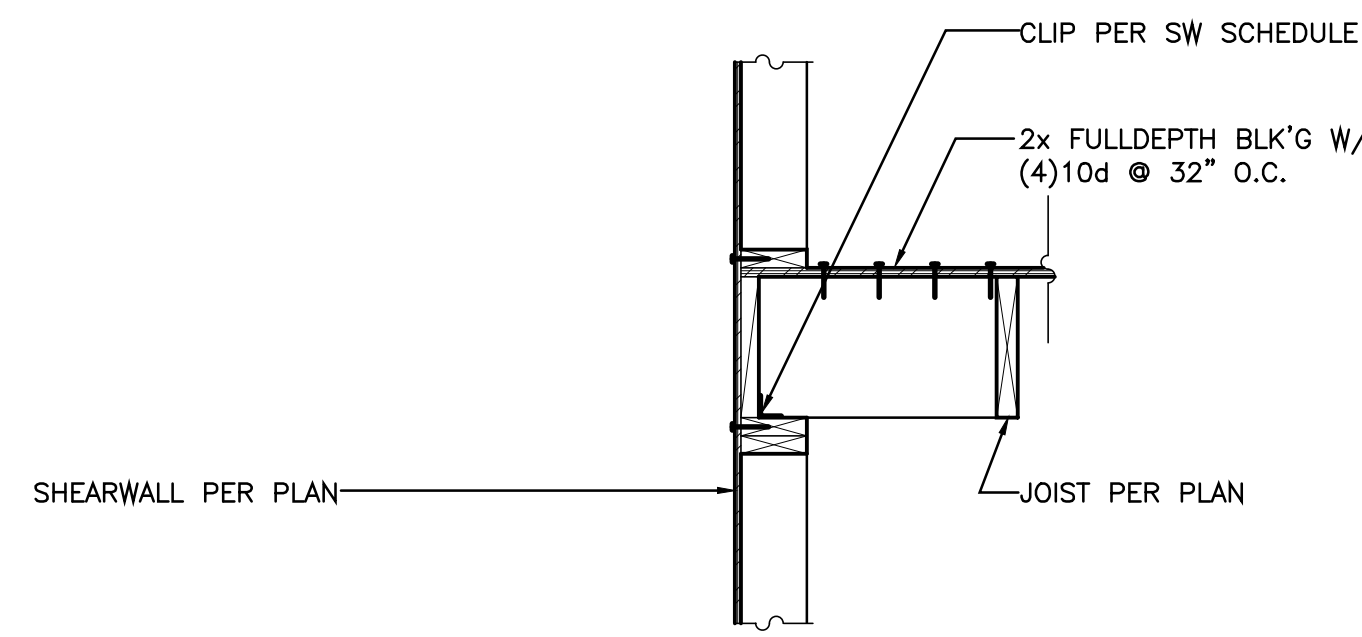
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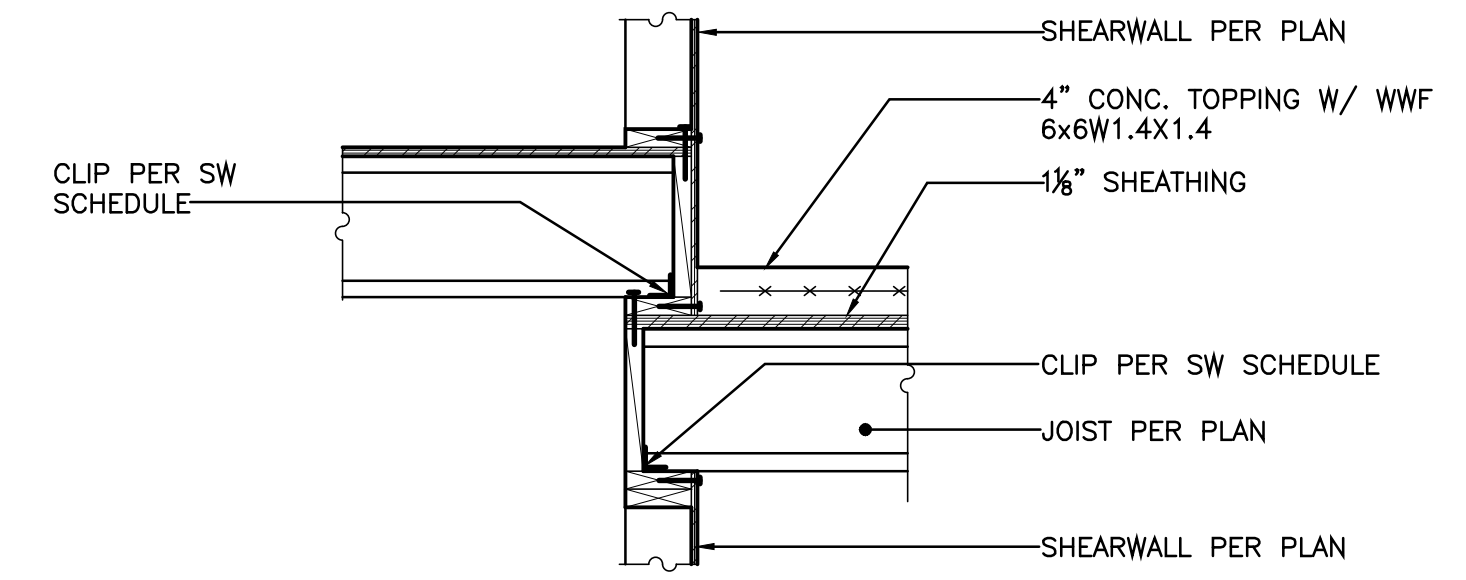
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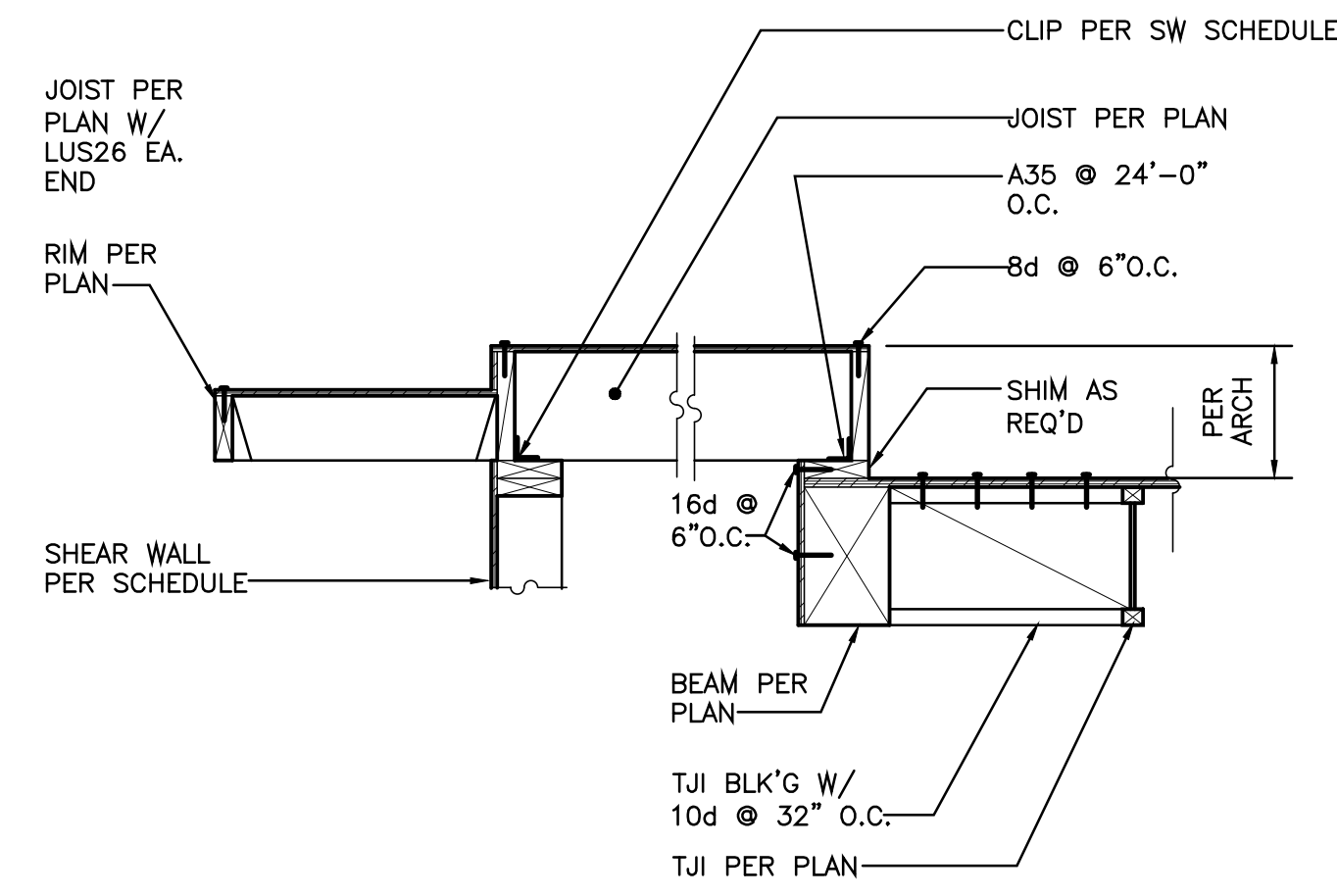
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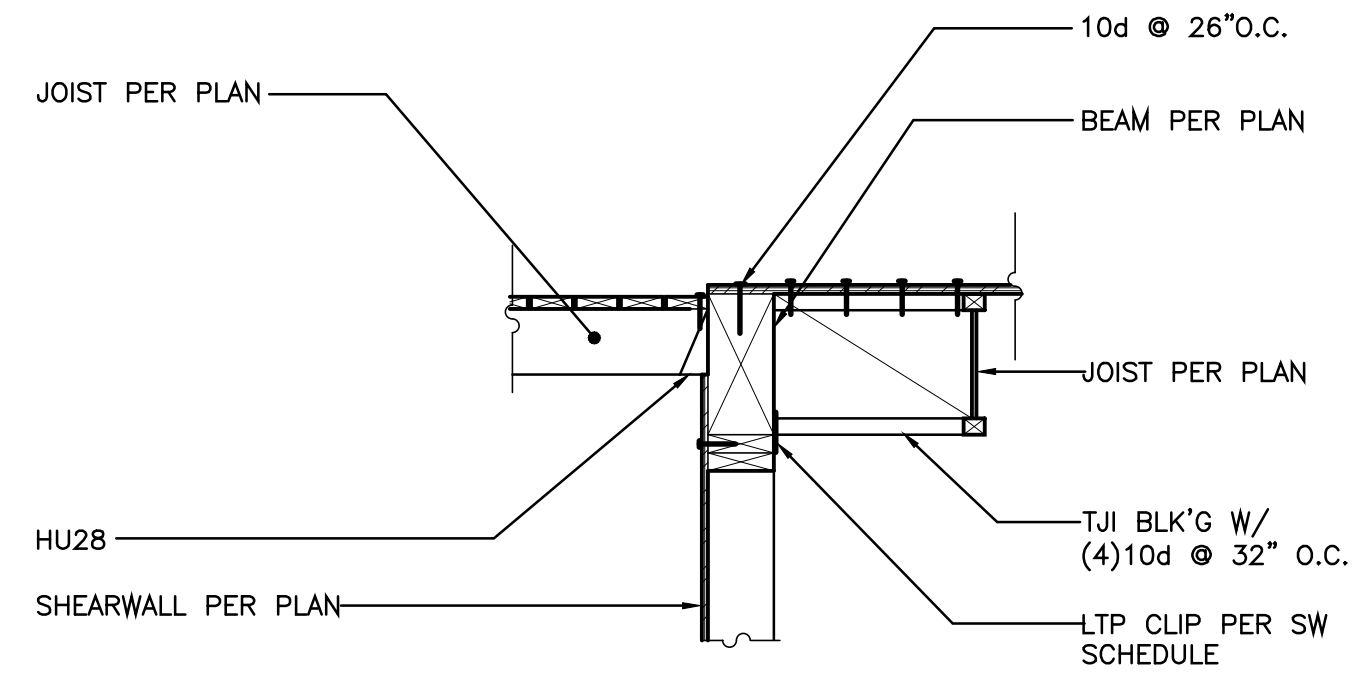
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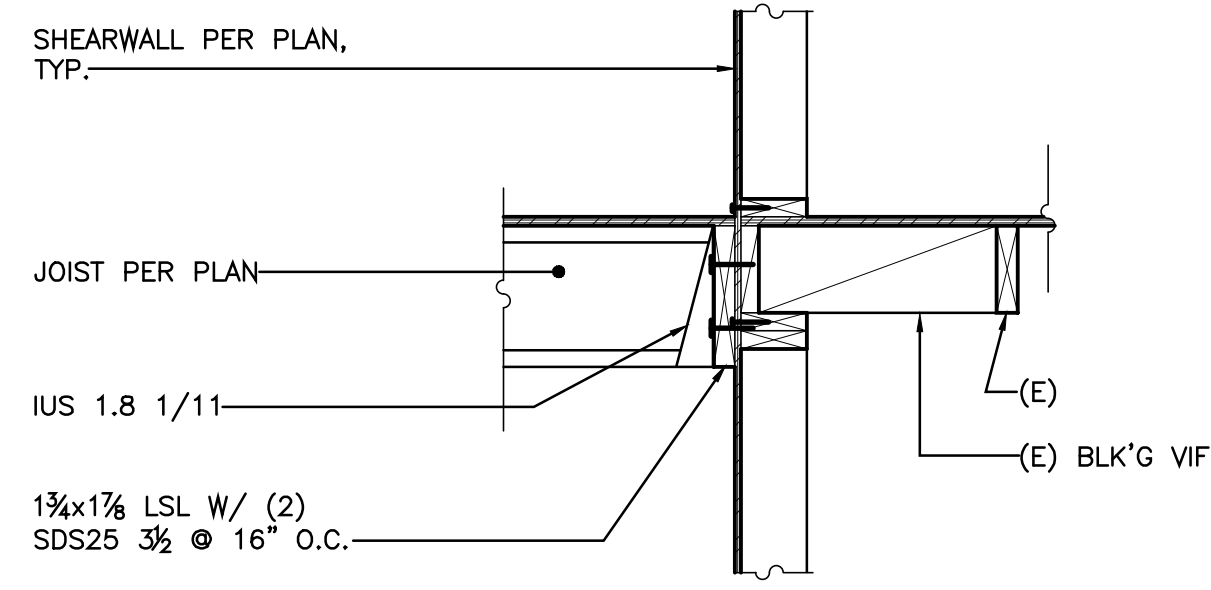
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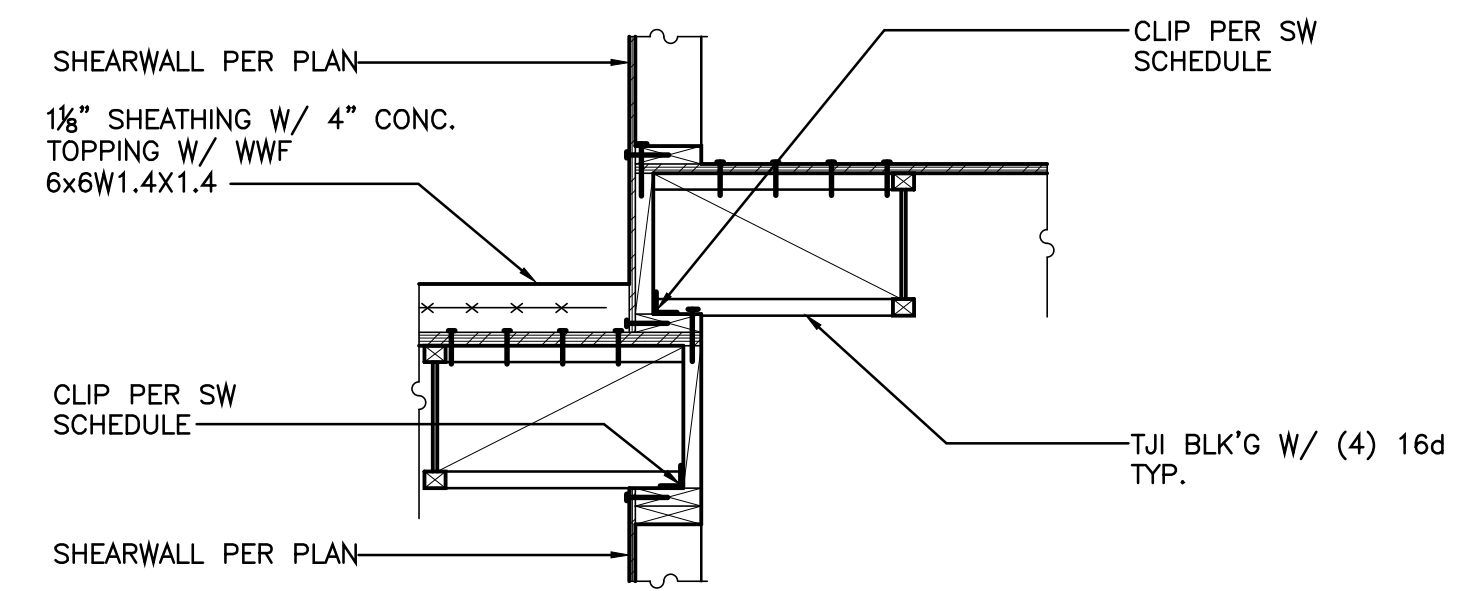
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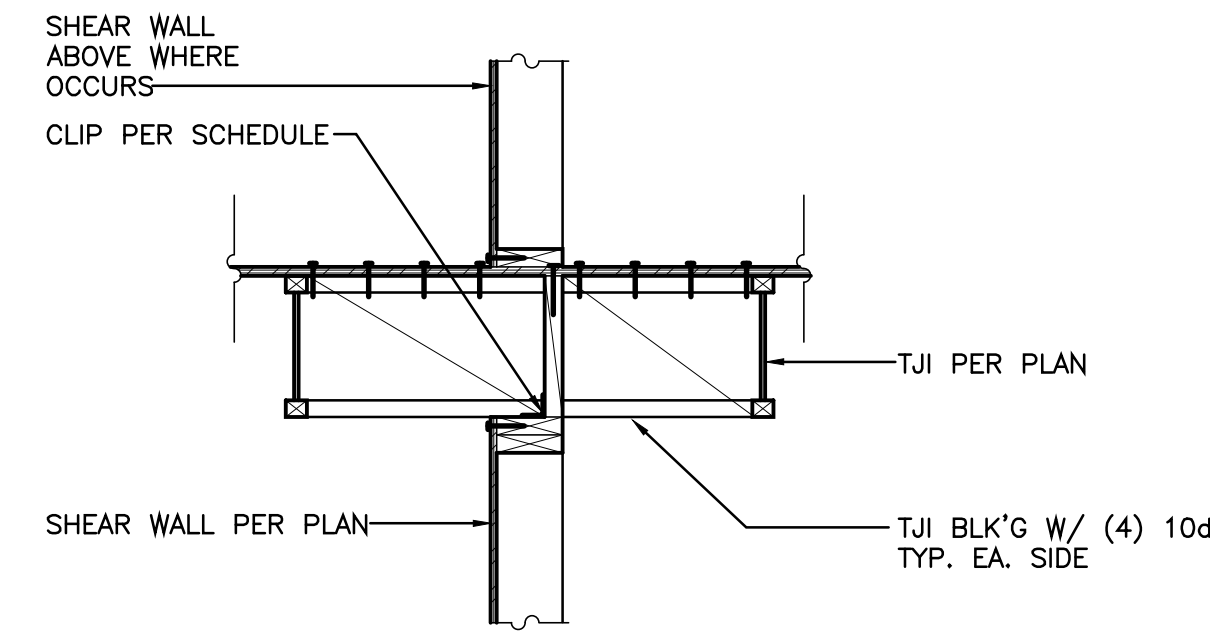
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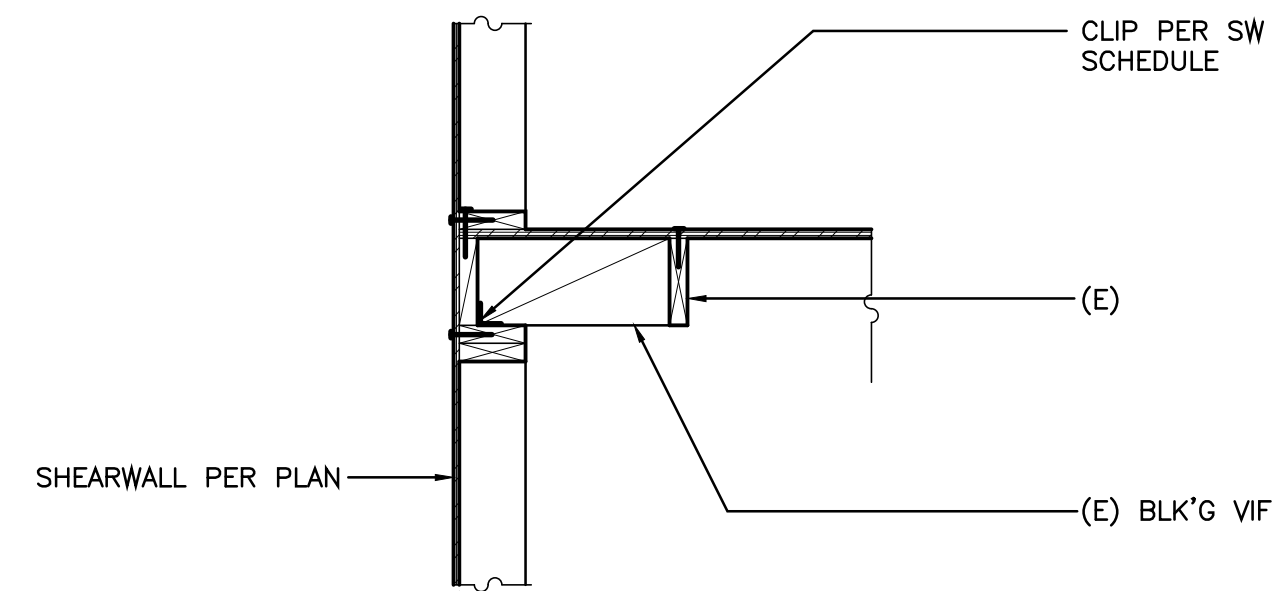
8 scale: 3/4"=1'-0"



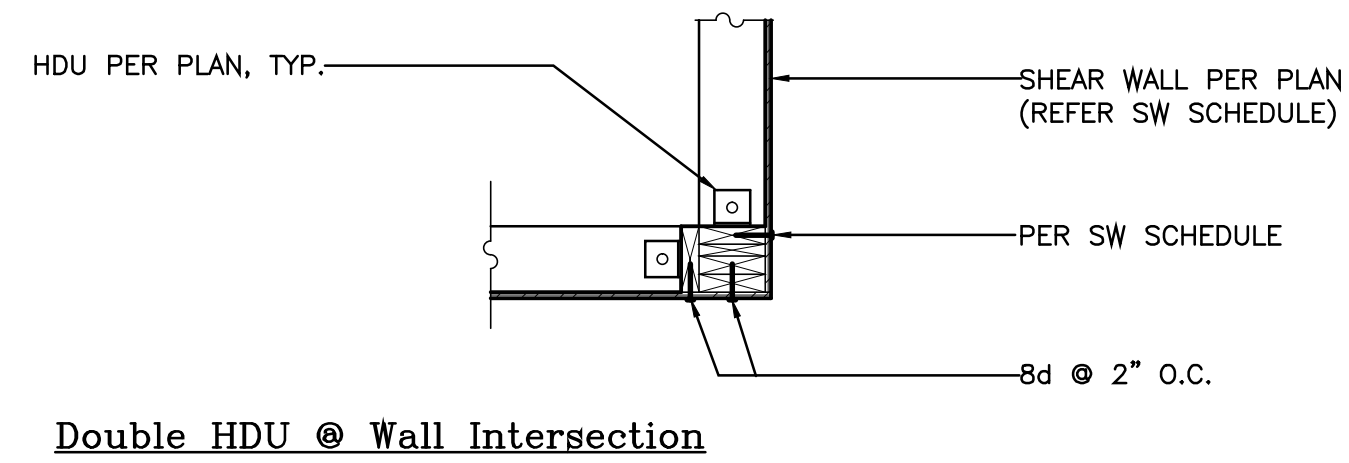
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3 scale: 3/4"=1'-0"

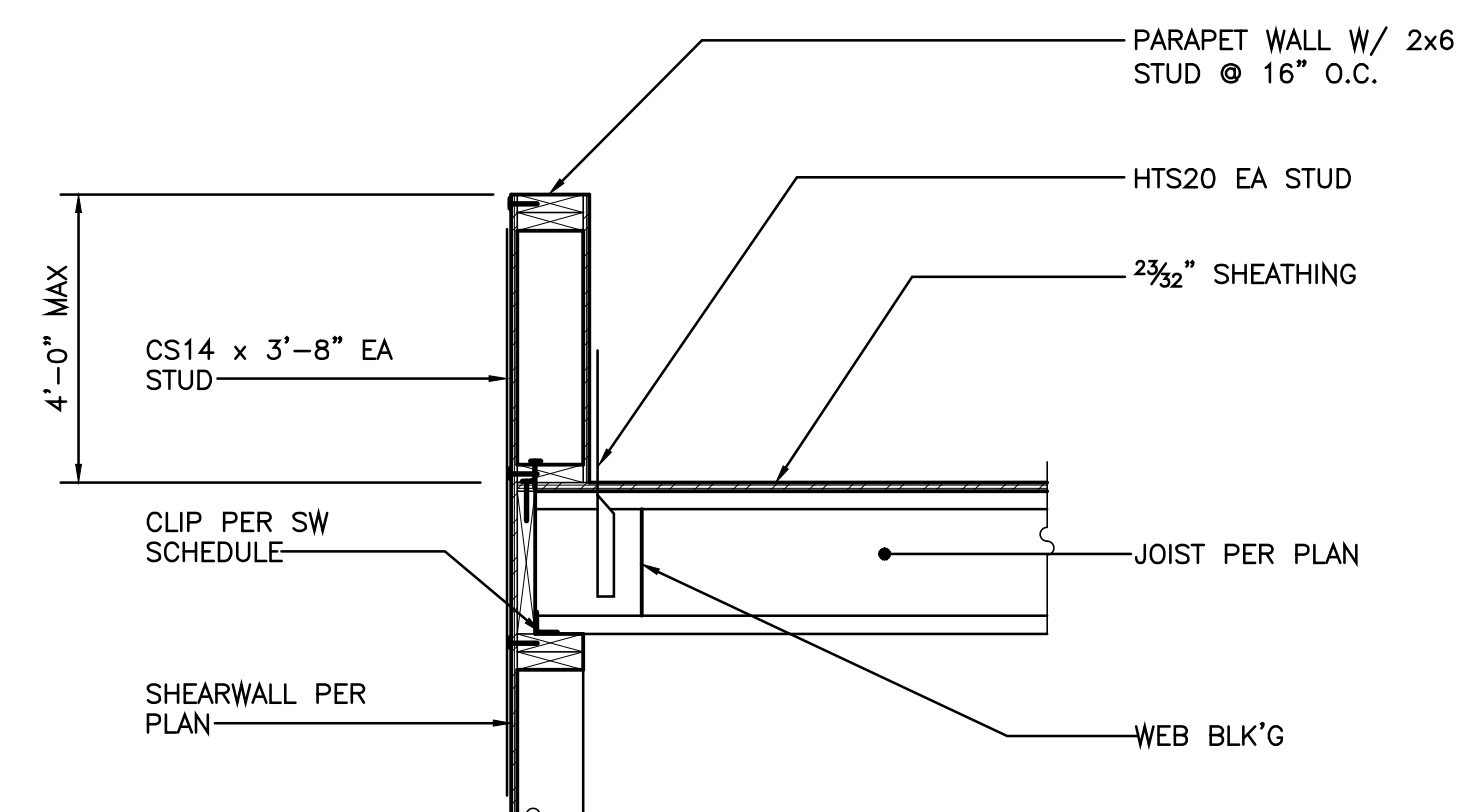


6 scale: 3/4"=1'-0"



Double HDU @ End of Wall

9 scale: 3/4"=1'-0"



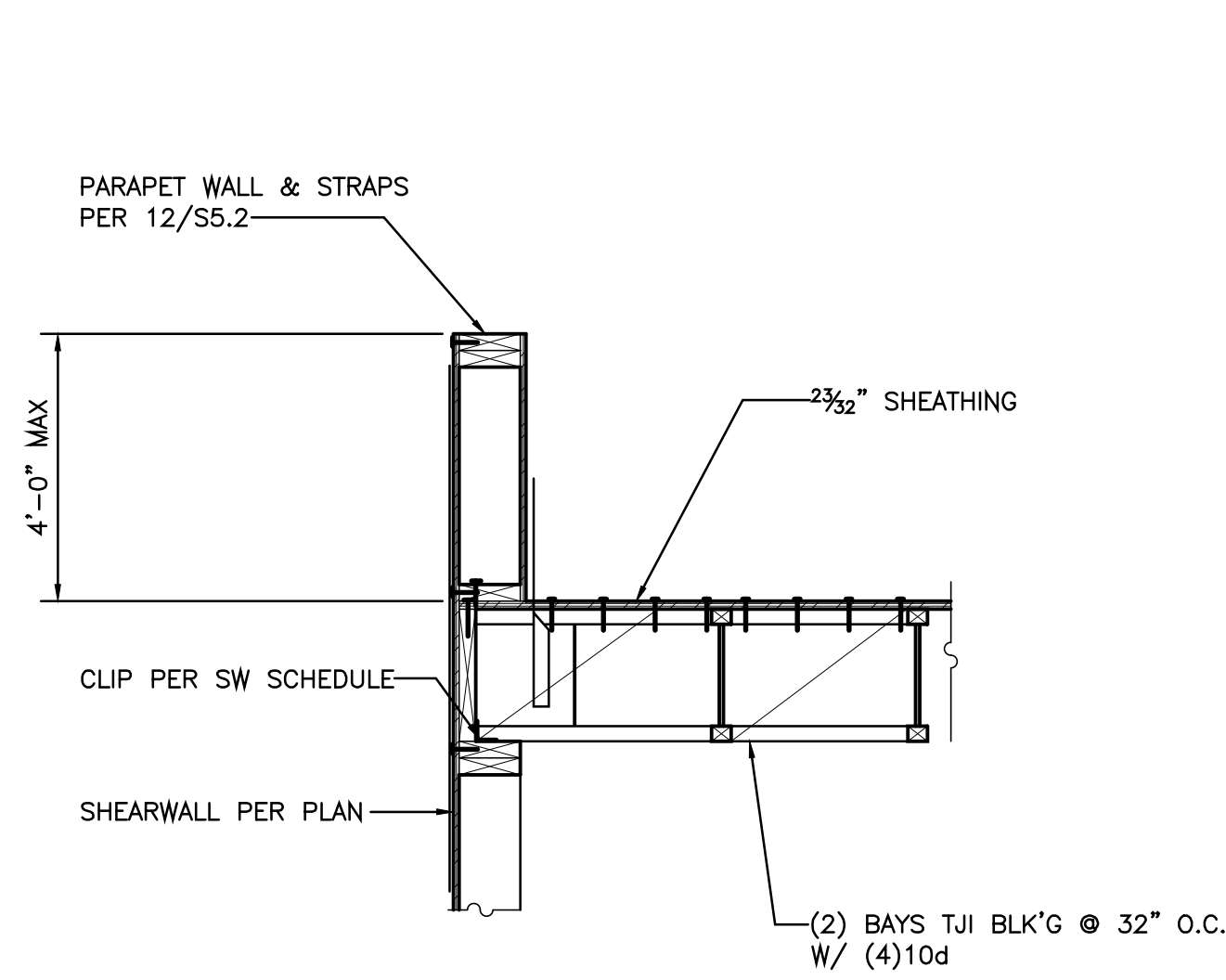
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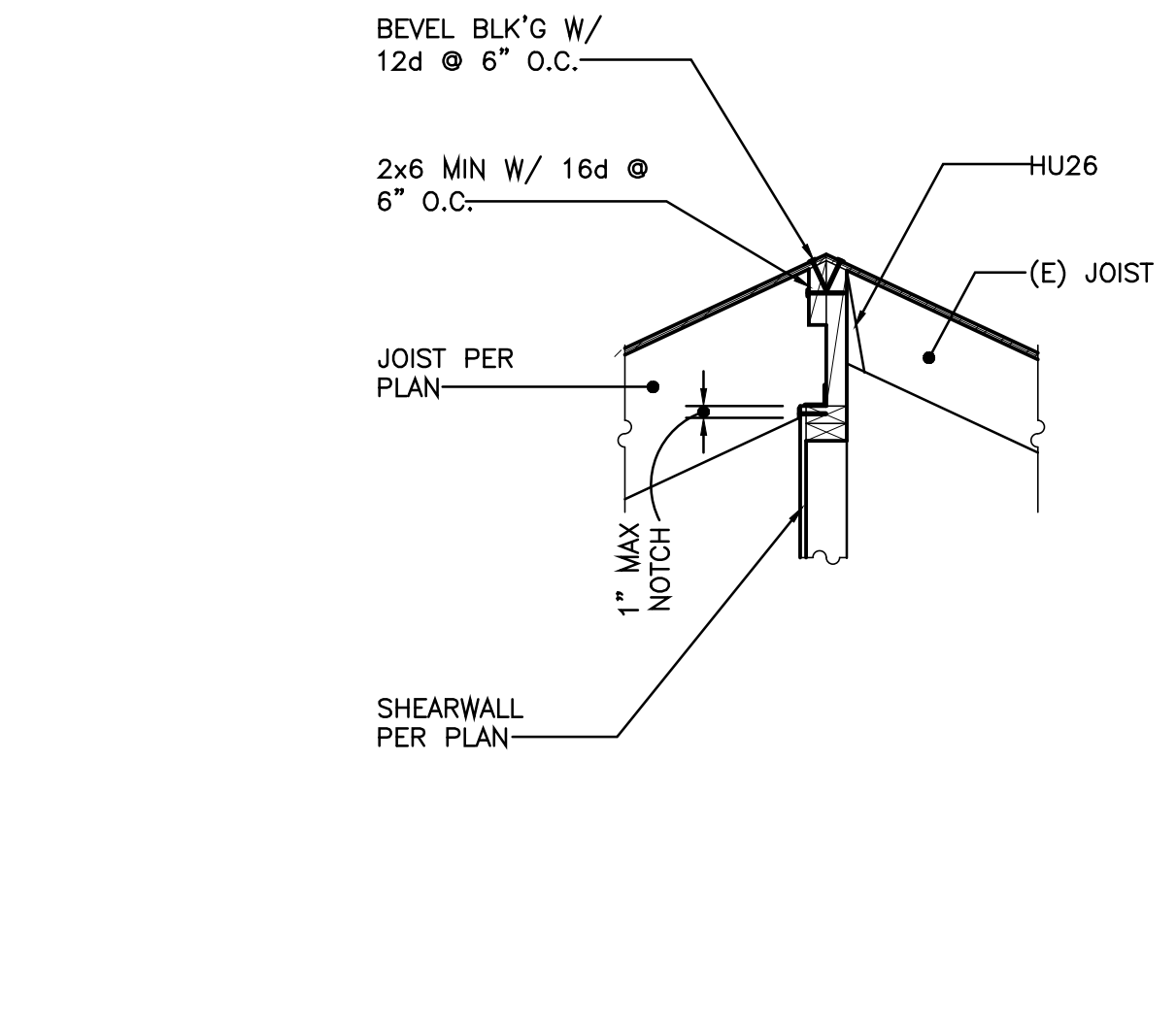
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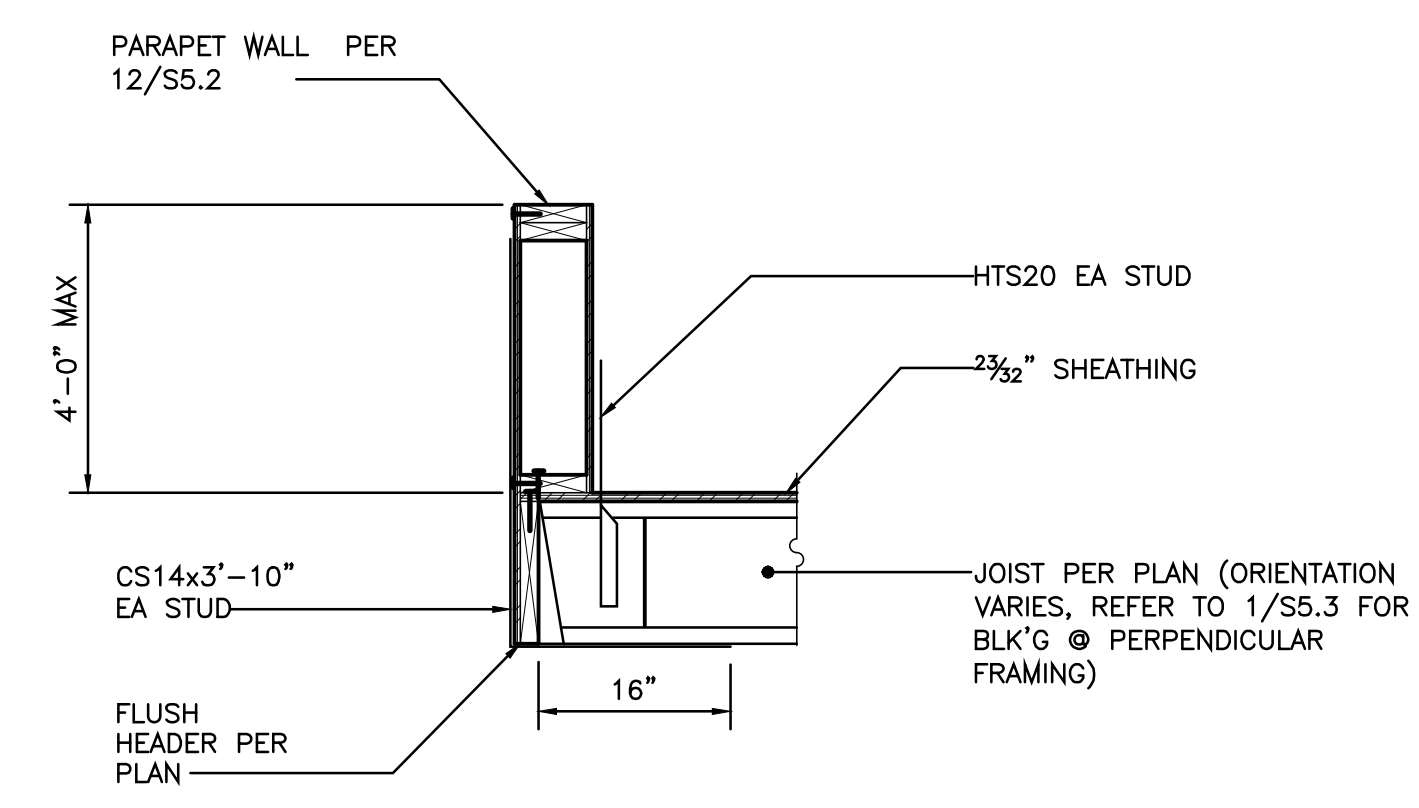
Scale:
Sheet:
Structural Details
S5.2



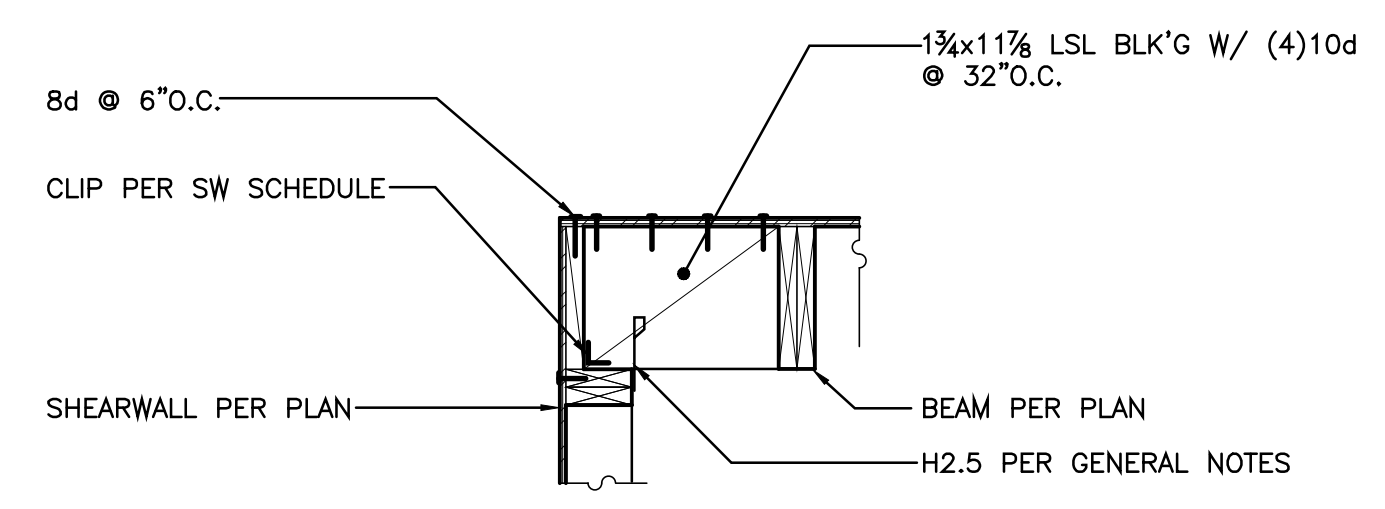
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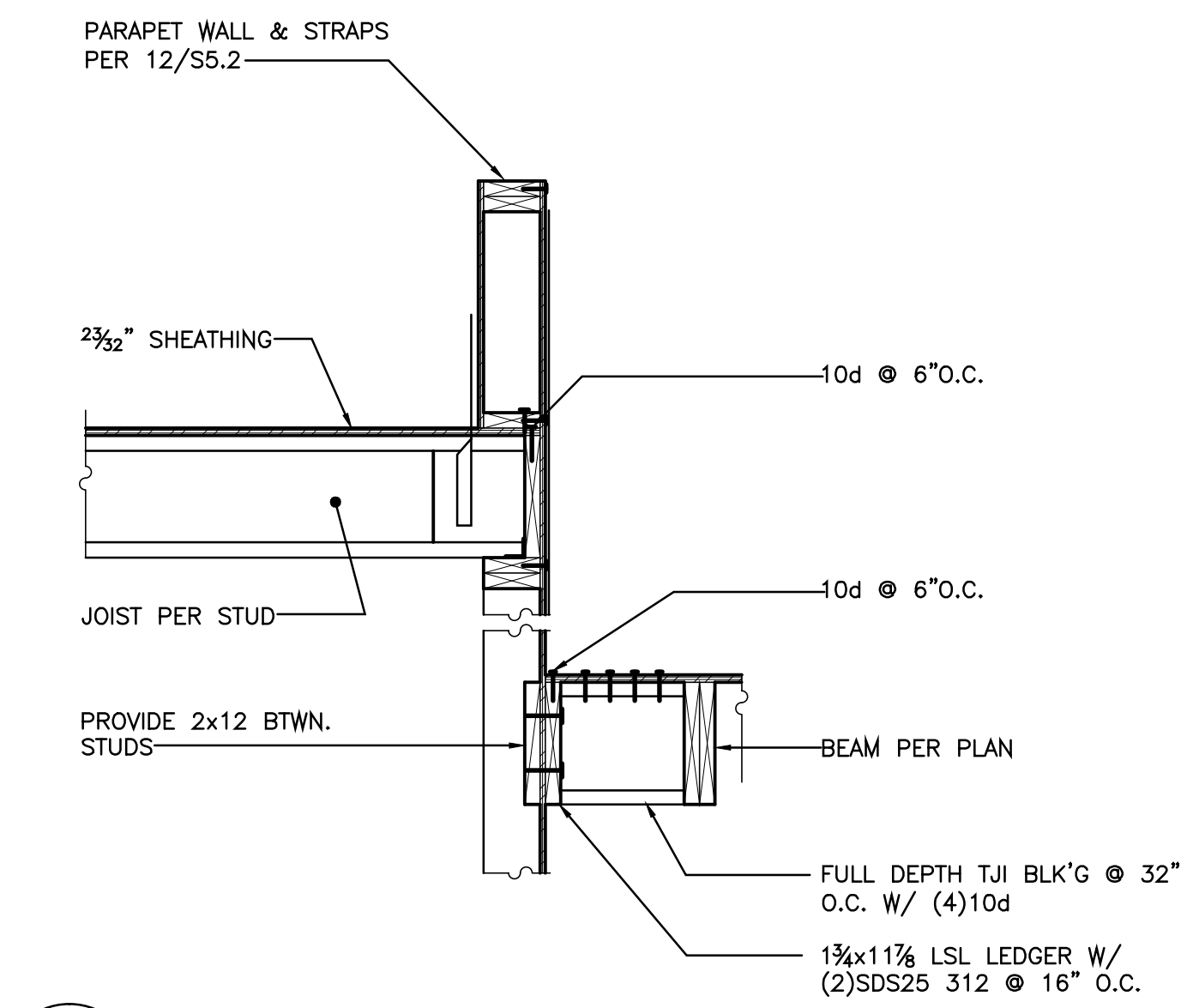
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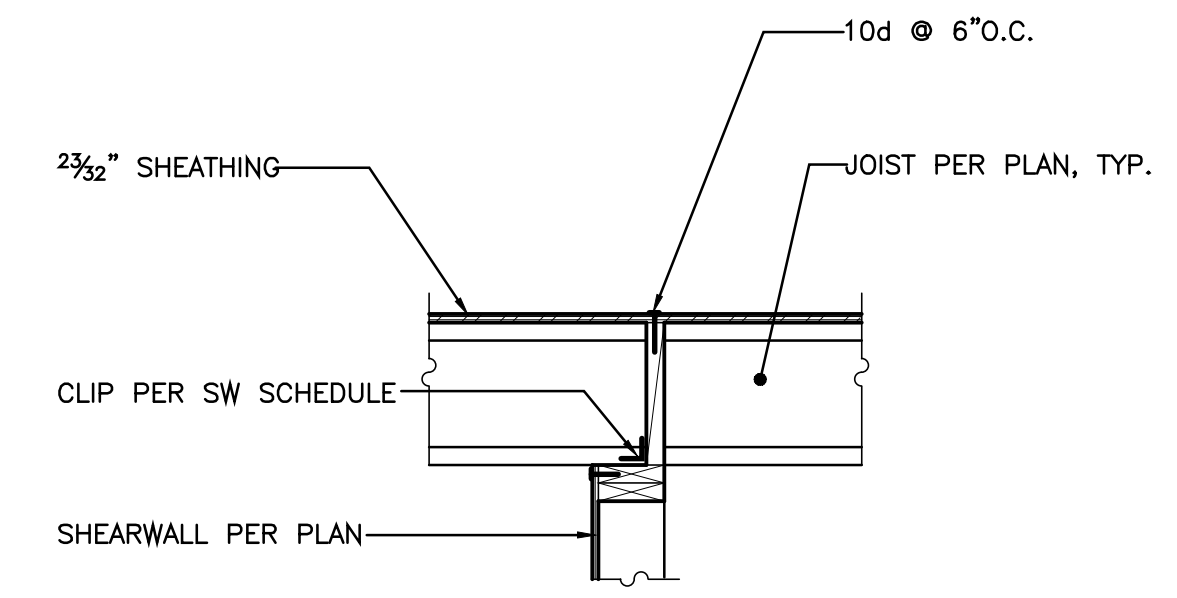
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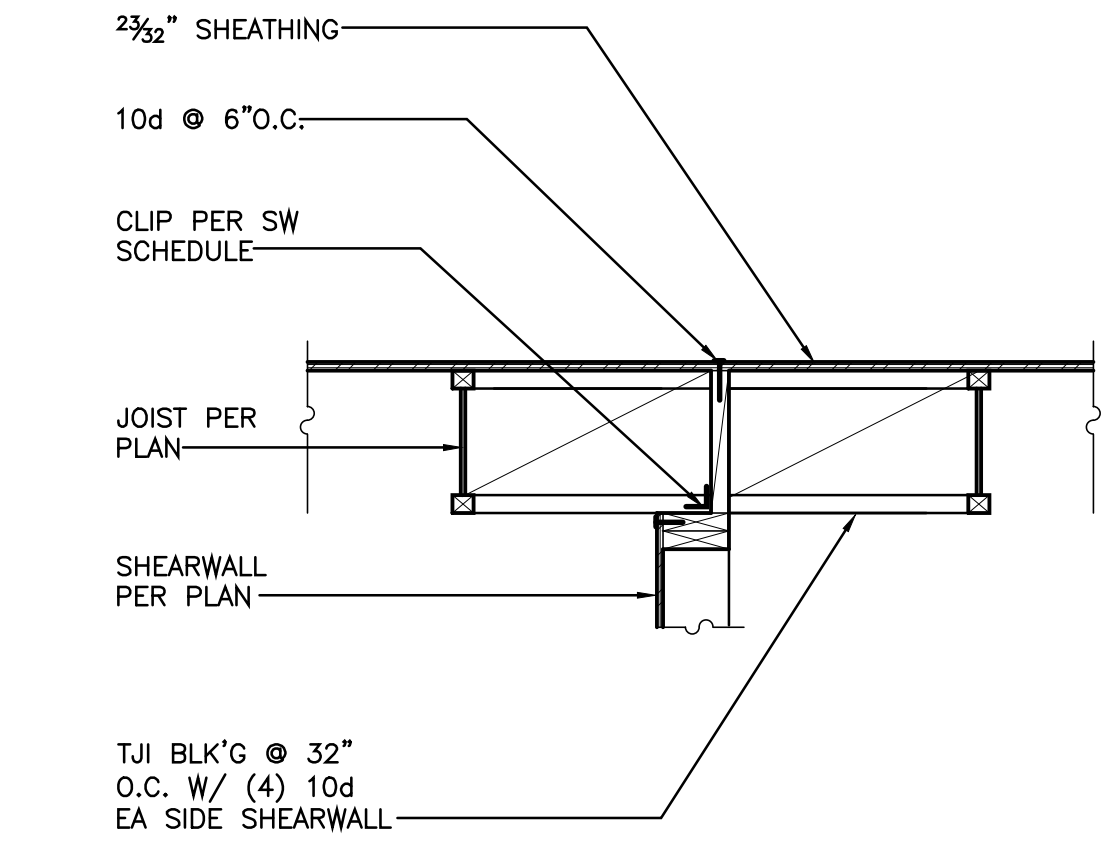
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2 scale: 3/4"=1'-0"

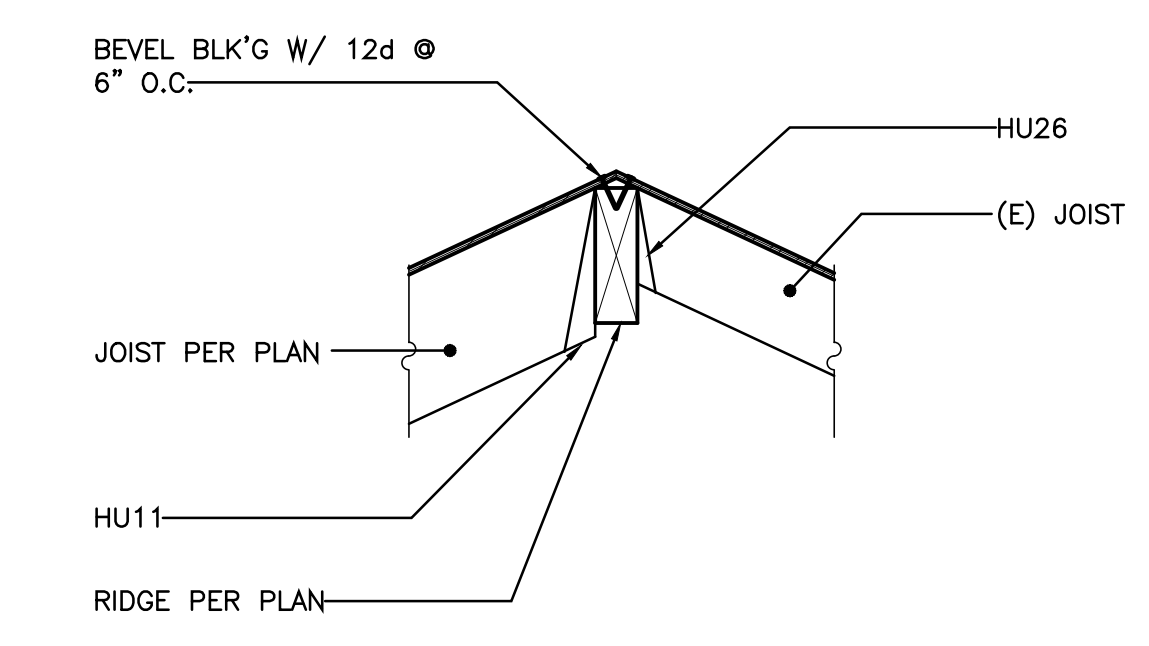


5 scale: 3/4"=1'-0"

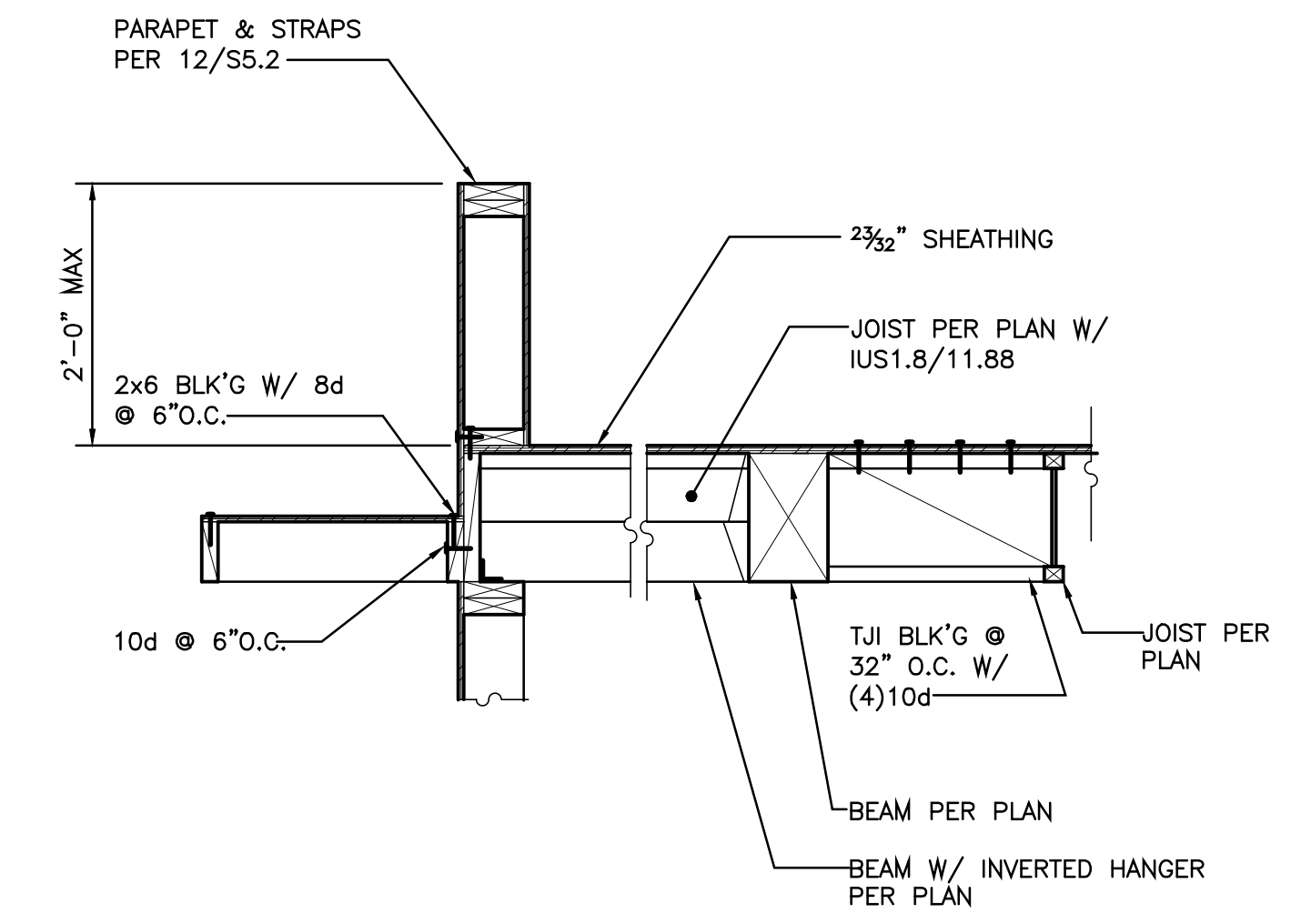


8 scale: 3/4"=1'-0"

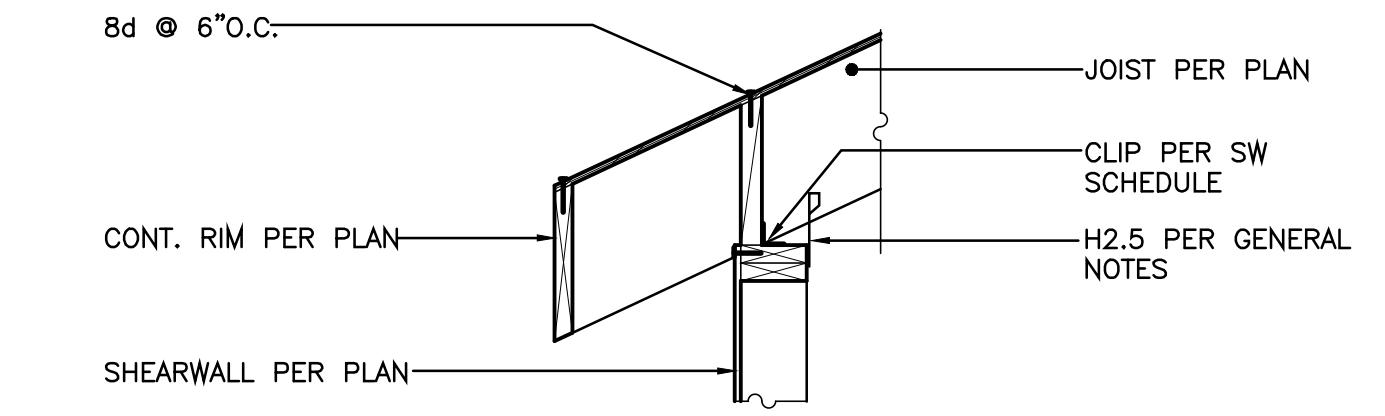
11 NOT USED scale: 3/4"=1'-0"



3 scale: 3/4"=1'-0"



6 scale: 3/4"=1'-0"



9 scale: 3/4"=1'-0"

12 NOT USED scale: 3/4"=1'-0"

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Date:
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Scale:

Sheet:

Structural Details
S5.3